

*Honouring the past  
by securing the future*

## **Internal Fitout Plan – Part 1**

for the conservation and adaptive re-use of the North  
Head Quarantine Station

**Final Draft November 2005**



Prepared by

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for

**Q**UARANTINE  
STATION

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## Declaration and approval

This Internal Fitout Plan has been prepared to meet the requirements of Condition 99 of the Conditions of Planning Approval for the North Head Quarantine Station.

In preparing and granting approval for this Internal Fitout Plan all efforts have been made to comply with the Conditions of Planning Approval and relevant legislation. However, in the event of an inconsistency with this plan and any requirements of the Conditions of Planning Approval or relevant statutes; the Conditions of Planning Approval or the relevant statutes will prevail. Furthermore, the granting approval for this plan does not relieve the co-proponents of the obligation to obtain all other approvals from relevant authorities required under any other legislation.

This plan was prepared by: .....

Paul Davies Architects Pty Ltd and Cate Young Design (CYD),

This plan was presented to the Quarantine Station Community Committee at its meeting on 3<sup>rd</sup> February 2005.

This plan was approved by:

Simon McArthur, General Manager Mawland Hotel Management and Q-Station Pty Ltd on .....  
2005; and

Tony Fleming, Deputy Director-General, Parks and Wildlife Division on behalf of the Department of Environment  
and Conservation on ..... 2005; and

Reece McDougall, Director, NSW Heritage Office on .....2005.

A copy of the approvals is provided in Appendix A.

## Executive Summary

This Internal Fitout Plan (Part 1), specifically covers the interior finishes and fitout items proposed for all accommodation buildings and their associated lounges and bathrooms. A second Plan (Part 2) will be presented over the coming months that covers the buildings other than accommodation buildings that are to be adapted and which require fitout. The staging is a response to the staging and time constraints on development of parts of the site related to the issuing of the lease.

It is also important to understand that the final approval of the fitout plan is dependant on the construction and review of the sample works in Building P6 as required under Condition 19 of the Approval. The completed sample fitout requires endorsement from both NPWS and the NSW Heritage Council prior to proceeding. Some adjustment to this fitout plan and the schedules of works may arise from any agreed changes arising from that condition. Final consent to this plan to proceed to construction can only take place following the endorsement of the work in Building P6.

The objective of the fitout is to interpret the cultural significance of building interiors through sampling and provision of facilities that also permit safe and comfortable use, as approved. In this respect, key directions for this Plan were established in the Detailed Area Conservation Management Plans (DACMP) and the Interpretation Plan. The QS Collection and Moveable Heritage Plan should also be referred to in regard to the use of existing fitout and furniture as seen in some of the lounge rooms and the provision of basins, light fittings and tapware. This plan does not provide information on the re-use of existing furnishings.

The approach taken in both the design and the fitout of the accommodation buildings has been to retain room layouts, materials and finishes throughout the buildings to the standard set out in the conditions of approval and to retain more original fabric and layouts than originally proposed wherever possible. The overall outcome has less intervention, less change and a more responsive approach to the location of new openings and new areas of fitout where these have been approved.

The DACMP provides guidance on which elements and finishes of buildings are to be retained and which may have some form of adaptation. However, the DACMP does not provide any guidance on style or specifications, as this would have overly constrained future use.

This plan must be read in conjunction with the Conservation Works Plan which sets out the sampling strategies across the site and is supported by the various Section 60 applications that set out the detailed works for each building including fitout details.

Approval of the Plan is undertaken in accordance with Condition 99 of the Conditions of Approval, *that the Plan shall be reviewed by the Heritage Advisor and submitted to (DEC) NPWS and the Heritage Council for approval.* This Plan will be reviewed by the Department of Environment and Conservation (DEC) and the NSW Heritage Office (HO), then revised, then presented to the Quarantine Station Community Committee, then revised (if required), then approved by the DEC and HO.

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## 1.0 Introduction

### 1.1 Reflection of approval conditions

This Internal Fitout Plan has been prepared to meet Approval Conditions 19, 85, 87 and 99. The plan should be read in conjunction with the Moveable Heritage Plan which sets out procedures for collection of moveable heritage items and addresses the requirements of the State Records Act 1998 and other relevant legislation as stated in the approval conditions.

This plan sets out the proposed services, fittings and furnishings to be installed across the site along with the sampling strategy for bathrooms and toilet fitouts from the 1958-1962 period as stated in condition 99(b) of the approval.

The Internal Fitout Plan therefore focuses on the interior of buildings – related infrastructure aspects (such as electrical and telecommunications cabling to buildings) will be covered in a separate Infrastructure Control Plan. Table 1.1 identifies how and where each of these elements is addressed in this Plan.

This edition of the plan addresses the accommodation buildings on the site.

Table 1.1 Acknowledgment of Approval Conditions in this Plan

Requirements	How addressed	Section to refer to
Existing Bathroom and toilet fitouts: Approach to sampling	Sampling only applies to existing fitout.  Addressed in the Conservation Works Program section on sampling strategies.	2.1  CWP 3.3
Bathroom and toilet fitouts: Style and specifications (including taps, spouts, shower heads, basins, baths, and toilets)	The style and specification of new elements is contemporary and simple in design reflecting the generally modest standard of fitout historically seen at the station. The same fitout is to be used in all new bathrooms and toilet fitouts again reflecting the former patterns of fitout where upgrades were undertaken across the site with a high level of consistency.	2.2  10
Bathroom and toilet fitouts: Consistency with relevant DACMP policies	New bathrooms are designed as part of a contemporary layer of fitout that is to be seen as clearly new fitout. This is consistent with the intent of the DACMP policies on new interventions on the site.	2.3
Floor coverings: (including carpets and floor tiling) Style and specifications	Floor coverings were submitted and approved as part of the conditions of consent for the works. The style reflects the simple approach to the use of materials at the station and is consistently applied to all new works.	3.1  11
Floor coverings: Consistency with DACMP policies	The DACMP does not provide specific guidelines on the provision of new floor coverings except where specific finishes are to be retained. The fitout proposals do not provide new floor coverings to any areas required to be retained in their present form.	3.2
Electrical fittings: Style and specifications	Electrical fittings are selected for their simplicity and functionality forming a new layer of fitout across the site in contrast to the earlier	4.1  10

	electrical fitout.	
Electrical fittings: Consistency with DACMP policies	The DACMP requires existing fittings to be retained in a wide range of situations. This is accommodated in the proposals with new fitout provided in combination with existing fitout in a number of locations.	4.2
Telecommunication: Style and specifications	Electrical fittings are selected for their simplicity and functionality and will form a new layer of fitout across the site.	5.1 8
Telecommunication: Consistency with DACMP	There is no specific policy related to new telecommunication fitout.	5.2
Paint finishes	The DACMP seeks to both retain the range of historic colour schemes across the site and to reflect the last phase of use of the station for quarantine. During this period of use a consistent approach to painting was adopted that saw most of the accommodation rooms, lounge rooms and bathrooms use the same colour scheme using pastel tones (consistent with the taste of the day). This approach has been maintained in the use of colour in these rooms. Other buildings retain colour schemes from a range of periods of the sites use as required in the DACMP. These will be submitted in subsequent stage of the Fitout Plan.	6.0

## 1.2 Section 63 of the Heritage Act 1977; Conditions of Approval

This section sets out the application conditions of approval and policies related to adaptation of accommodation facilities, moveable heritage, resource collection and internal fitout. The requirements of the conditions are as set out in the followings table that states the condition and how it has been responded to in this document.

### ***Adaptation of accommodation facilities***

- 19) Prior to the commencement of any works associated with the conversion of rooms in any of the accommodation buildings, a sample adaptation within Building P6 must be completed and endorsed by the Heritage Council and NPWS. The sample adaptation is to include accommodation room fitout and furnishings.

### ***Moveable Heritage and the Resource Collection***

The co-proponents shall submit a Moveable Heritage and Resource Collection Plan within 12 months of the commencement date. The plan shall include all items of moveable heritage and items from the resource collection. The plan shall address the requirements of the State Records Act 1998 and other relevant legislation and be prepared by a suitably qualified person with demonstrated skills and experience in the management of archival collections.

The plan shall be reviewed by the Heritage Advisor and submitted to the NPWS and the Heritage Council for approval. Implementation of the plan must commence within 3 months of its approval.

- 87) No items of moveable heritage or items from the resource collection shall be used for display purposes or made available on loan outside the Quarantine Station until the Moveable Heritage and Resources Plan has been adopted.

### Internal Fitout

The co-proponents shall engage a suitably qualified and experienced person to prepare a site wide plan for internal building fitout within 12 months of the commencement date. The plan shall be reviewed by the Heritage Advisor and submitted to NPWS and the Heritage Council for approval. All internal fittings installed across the site must be consistent with the adopted plan.

The Plan shall:

a) outline the specifications and style of all new plumbing, telecommunication and electrical fittings, and floor coverings to be installed across the site. It must include taps, spouts, shower heads, basins, baths, toilets, electrical fittings, carpets and floor tiling, etc, and demonstrate consistency with the relevant policies of the DACMP; and

b) outline an approach to sampling of bathroom and toilet fitouts across the site from the 1958-62 period, taking into account the relevant policies of the DACMP.





Table 1.2 Conditions of Consent and Response of Fitout Plan

Condition Number	Condition	Comments	Section of report
19	<i>Prior to the commencement of any works associated with the conversion of rooms in any of the accommodation buildings, a sample adaptation within Building P6 must be completed and endorsed by the Heritage Council and NPWS. The sample adaptation is to include accommodation room fitout and furnishings.</i>	<p>P6 prototype will be the first accommodation room to be adapted. The sample adaptation will resolve any unforeseen problems that might occur with regards to removal and refitting timber wall cladding over sound rated walls.</p> <p>The Installation of new wall structures, floor surfaces, electrical services, and plumbing services (etc.) will be monitored and assessed to ensure the spatial interpretation and heritage significance is maintained.</p>	2.0
85	<p><i>Moveable Heritage and the Resource Collection</i></p> <p><i>The co-proponents shall submit a Moveable Heritage and Resource Collection Plan within 12 months of the commencement date. The plan shall include all items of moveable heritage and items from the resource collection. The plan shall address the requirements of the State Records Act 1998 and other relevant legislation and be prepared by a suitably qualified person with demonstrated skills and experience in the management of archival collections.</i></p> <p><i>The plan shall be reviewed by the Heritage Advisor and submitted to the NPWS and the Heritage Council for approval. Implementation of the plan must commence within 3 months of its approval.</i></p>	<p>The Co-proponents will submit a Moveable Heritage Data base of all moveable heritage items and Resource Collections in storage within 12 months of occupying the site.</p> <p>The recording process shall be carried out within the guidelines of the State Record Act 1998 and other relevant legislation and be prepared by a qualified person with suitable skills and be experience in the management of archival collection and recording</p> <p>The plan will be submitted to the NSW Heritage Office and NPWS (DEC) for review, comment and approval. Once the approval is given the plan will be implemented within 3 months of its approval.</p> <p>This plan does not include moveable heritage items except as outlined in section 8.3. Most fabric addressed is existing bathroom and room fitout.</p>	7.3,7.4 and 8.3
87	<p><i>Moveable Heritage and the Resource Collection</i></p> <p><i>No items of moveable heritage or items from the resource collection shall be used for display purposes or made</i></p>	See above	7.3,7.4 and 8.3

	<p><i>available on loan outside the Quarantine Station until the Moveable Heritage and Resources Plan has been adopted.</i></p>		
99	<p><i>The Plan shall:</i></p> <p><i>outline the specifications and style of all new plumbing, telecommunication and electrical fittings, and floor coverings to be installed across the site. It must include taps, spouts, shower heads, basins, baths, toilets, electrical fittings, carpets and floor tiling, etc, and demonstrate consistency with the relevant policies of the DACMP; and</i></p> <p><i>outline an approach to sampling of bathroom and toilet fitouts across the site from the 1958-62 period, taking into account the relevant policies of the DACMP.</i></p>	<p>a) The fitout plan contains the required specifications to assist in the assessment of items as set out by Condition 99 of the approval consent.</p> <p>Each item has been carefully selected, submitted and reviewed by the Co-proponents, Heritage Adviser and the NSW Heritage Office for comment, before final selections were made. All items demonstrate consistency with the relevant policies of the DACMP</p> <p>b) The approach to sampling of bathrooms and toilet fitouts across the site has been extensively documented in the Conservation Works Program; each policy under the DACMP has been assessed and documented.</p>	all

### 1.3 Two Part Plan

Unfortunately, it is not possible to present the full Internal Fitout Plan in one draft, as the work is being done in stages to reflect the approved Staging Program. It is therefore proposed to submit two Parts of the Plan:

- Part 1 (this Plan) to cover all buildings proposed to be adapted for accommodation use
- Part 2 to cover adaptation of other buildings for other uses (such as the hospital buildings / Doctors and Nurses Quarters, A20 and A6). Adaptation of these buildings does not occur until Stage 2 or after.

Table 1.3 lists all buildings to differentiate which ones are covered in Part 1 in contrast to Part 2, and which ones require no fitout to be addressed by either. It is important to note from Table 1.3 that many buildings will not require a fitout and will be utilised largely in their present form.

Table 1.1 also identifies the buildings that have had detailed building plans approved by the Heritage Office, since these introduced many of the concepts covered in this Plan. The room layouts and basic fitout have been progressively approved in the various Section 60 applications that have been lodged with the NSW Heritage Office. Each application has been assessed for its detailed impact on the particular building in relation to the approved plans, the conditions of consent, the DACMP and best conservation practice. The conservation works program is also being submitted which sets out sampling strategies This Plan does not require any revisions to these building plans.

This Plan also includes some fitout items that do not require consent – this has been done to provide reviewers with a richer understanding of the final look and feel of the interior fitout.

Table 1.3 Fitout status of Quarantine Station buildings

Building Number	Building	Buildings addressed in Part A Plan	Buildings addressed in Part B Plan	Buildings not requiring fitout	Buildings approved under section 60 or currently submitted for approval
<b>Wharf Precinct</b>					
L5	WHARF	NA	NA	NA	NA
A6	BOILER HOUSE				
A7	AUTOCLAVES				
A8	FORMALIN CHAMBERS				
A9	LAUNDRY				
A11	BATH HOUSE				
A12	BATH HOUSE				
A14-A17	LUGGAGE SHEDS				
A46	SWITCH ROOM				
<b>Hospital/ Isolation Precinct</b>					
H2	BRICK WARD				
H3	CHANGING BLOCK				
H4	DOCTORS AND NURSES QUARTERS				
H5	KITCHEN				

Building Number	Building	Buildings addressed in Part A Plan	Buildings addressed in Part B Plan	Buildings not requiring fitout	Buildings approved under section 60 or currently submitted for approval
H6	MORTUARY AND LABORATORY				
H7	KITCHEN AND COOKS QUARTERS				
H8-H11	ISOLATION WARDS				
H14	ASSISTANTS QUARTERS				
H15	BUNK HUT				
H14a	COVERED WALKWAYS				
<b>1st/2nd Class Precinct</b>					
P1	PASSENGER QUARTERS				
P2	PASSENGER QUARTERS				
P3	MEN'S SMOKING RM				
P4	MEAT HOUSE				
P5	PASSENGER QUARTERS, DINING ROOM				
P6	KITCHEN, STEWARDS				
P7	LADIES SITTING ROOM				
P8a	TOILET BLOCK				
P9	PASSENGER QUARTERS				
P10	PASSENGER QUARTERS				
P10a	TOILET BLOCK				
P10b	TOILET BLOCK				
P11	PASSENGER QUARTERS				
P12	PASSENGER QUARTERS				
P13	KITCHEN DINING ROOM				
P36	IRONING ROOM				
<b>3rd Class/Asiatic Precinct</b>					
P14-P16	3rd CLASS/ASIATIC ACCOM				
P17	SHELTER SHED				
P18	ASIATIC KITCHEN				
P27	3rd CLASS DINING ROOM				

Building Number	Building	Buildings addressed in Part 1 Plan	Buildings addressed in Part 2 Plan	Buildings not requiring fitout	Buildings approved under section 60 or currently submitted for approval
P28	LAVATORY				
P29	LAVATORY				
S9	STAFF COTTAGE				
<b>Administration Precinct</b>					
A1	SUPERINTENDENT'S OFFICE				
A2	GENERAL STORE				
A18	LOCOMOTIVE SHED				
A20	STAFF MESS				
A23	CART SHED				
A24	STABLES				
A25	POST OFFICE				
A26	RECEIVING SHED				
A28-A29	STORE				
L13	GREENHOUSE				
S1	STAFF COTTAGE				
S2	STAFF COTTAGE				
S4	STAFF COTTAGE				
S5	STAFF COTTAGE				
S6	STAFF COTTAGE				
S7	STAFF COTTAGE				
S10	STAFF COTTAGE				
S12	STAFF COTTAGE				
S14	STAFF COTTAGE				
S15	STAFF COTTAGE				
S16	STAFF COTTAGE				
L2a	PUMP HOUSE				

## 1.4 DACMP Subsidiary Policies

This section sets out the application conditions of approval and policies related to moveable heritage and internal fitout (and policies relating to changes to the building fabric). The tables provide a brief summary of how each policy has been addressed.

Table 1.4 Building Code of Australia - CPP 16.5

Policy No.	Policy	Comments and Strategy
CPP16.5.1	Compliance with the BCA, should involve the least possible intervention to the fabric of the place. Where alternative solutions exist the least intrusive alternative should be selected.	In order for each building to comply with the BCA, alternative solutions are proposed to reduce the impact on the buildings fabric. Without compromising the integrity of the structure, historical fabric and ongoing use of each building it is intended to address each building on a <i>Deem to Satisfy</i> basis.
CPP16.5.2	<i>If, to achieve a particular use, compliance with the BCA or other statutory control involves changes to the place that adversely affect its significance that use should not proceed.</i>	It is not proposed to adversely change the significance of any building on the site. All uses for building on site have been granted consent of development as indicated in the Conditions of Approval.
CPP16.5.3	<i>The buildings generally are not capable of achieving the required acoustic separation required in the BCA. The standard for acoustic separation should be lowered as part of an alternative engineered solution which may provide an improvement in acoustic privacy but only where the impact on significant fabric is acceptable.</i>	The standard under the BCA of 45 STC has been addressed in each section 60 application. It is the intent of the Co-proponent to comply with the standard, only where new materials and old materials are joined will there be a lower STC applied, the intent is to minimise the impact on heritage fabric of each building, while still meeting the intent of the BCA.
CPP16.5.4	<i>Proposals for fire upgrading that require intervention into significant fabric should be referred to the Heritage Council Fire, Access and Safety Advisory Panel as part of the approval process.</i>	The proposed solution has been submitted to the Heritage Office after consideration by a fire engineer consultant. Any solutions that are not agreeable to the Heritage Office will be referred to the panel.

Table 1.5 Joinery and Timberwork CPP 16.6

Policy No.	Policy	Comments and Strategy
CPP16.6.1	<i>All existing joinery to doors and windows throughout the complex is to be retained and conserved except where specifically noted to be removed or adapted in the building policies.</i>	All existing joinery to doors and window will be retained and conserved, alterations to joinery will only occur where consent was issued.
CPP16.6.2	<i>Where elements are deteriorated and in poor condition, maintenance and repair are to be undertaken in preference to replacement. Elements should only be replaced when they cannot be conserved in situ. The replacement element must match the existing one in materials and detail as closely as possible.</i>	This is to occur in all instances throughout the site. Where materials have fail they will be replaced with like for like materials. Qualified tradesman will carry out the conservation works and maintenance will take preference to replacement as noted in the section 60 conservation maintenance plans.
CPP16.6.3	<i>The design and detailing of new elements should be consistent across the site with design input from a qualified and experienced heritage consultant for all new elements.</i>	Paul Davies Pty Ltd., qualified heritage consultant, will oversee all new design and detailing elements. He will also oversee the implementation of such elements into the site.
CPP16.6.4	<i>New work should be clearly distinguishable from existing fabric as set out in the discussion above.</i>	New work will be distinguished from existing fabric by using new materials and not detracting from the original building fabric as set out by the Section 60 documents.
CPP16.6.5	<i>New work should be of a high standard in workmanship and design. Appropriate techniques should be used for fixing of materials. For example, timber should be nailed using galvanised nails fixed with a hammer and should not be fixed using nail guns or other contemporary fixing methods.</i>	New work and conservation work shall be carried out by a qualified heritage tradesman. All techniques required for fixing and finishing of materials has been set out by the specifications that are attached to the Conservation Works Plan.
CPP16.6.6	<i>All reinstated materials removed during adaptation works is to be retained and stored on site. Material is to be clearly labeled to mark its origin and a schedule of removed materials is to be prepared and provided to NPWS.</i>	This has been documented on the section 60 applications. Materials that are removed for storage and/or reinstatement over new materials will be mark appropriately.



Table 1.6 Locks and Hardware

Policy No.	Policy	Comments and Strategy
CPP16.7.1	<i>All hardware and fittings related to the quarantine period of use is significant and is to be retained. Hardware installed post 1984 is not significant to the place and is to be removed as part of ongoing conservation works</i>	All early period hardware and fittings are to be retained insitu as noted on the section 60 drawings. Servicing only for earlier period hardware will take place to render them operational. Recent hardware will be replaced as scheduled.
CPP16.7.2	<i>All early or original locks, fittings and hardware are to be retained in situ and wherever possible are to be used as part of the ongoing operational fitout of the place.</i>	This is to take place as noted above.
CPP16.7.3	<i>Where it is not feasible to reuse existing significant hardware it is to be retained in situ and new hardware is to be installed adjacent to it in an approved position.</i>	It is not proposed to remove earlier hardware or fittings. New hardware that is incorporated into the design will be place adjacent to existing hardware with the exception of door hardware (i.e. door handles which will be replaced where hardware is beyond repairs or do not comply with the Building Code of Australia.
CPP16.7.4	<i>If a new locking system is installed across the site it must:  a be consistent in design and the selection of locks across the whole of the site so that it is read as a further layer in the evolution of the place b be located in relation to existing locks and hardware in consistent and approved ways to ensure continuity of approach c be subservient to the early hardware in appearance and location d not adversely impact on the significance of the element to which it is fixed.</i>	All new locking systems will be incorporated into earlier openings without increasing the openings. All new hardware will not detract or emulate original hardware and will not adversely impact the significance to which it is fixed.
CPP16.7.5	<i>All doors on the Station, whether required for active use or not, should be operational. All doors from publicly accessible spaces should be available for egress. There must be no internally locked doors in any publicly accessible space. This is to ensure that it is clear to users that egress is consistently available from all spaces.</i>	This requirement is being met with the exception of the corridors to the accommodation buildings. All access doors to the corridors will be fire sealed to minimise the spread of fire and smoke from one accommodation rooms to another.  BCA requires the occupants to exit directly to an exterior open space and

		not back into the building.
CPP16.7.6	<i>Conservation of locks should generally be restricted to repair and maintenance of lock mechanisms and/or replacement of missing parts and should not involve refinishing or resurfacing fittings.</i>	Where locks and/or locking systems are serviceable they will be reused and serviced as set out by the drawings and schedules. Locks are to be serviced only and not refinished or resurfaced as stated by this policy.

Table 1.7 Electrical and communication

Policy No.	Policy	Comments and Strategy
CPP16.8.1	<i>The electrical fitout of any building from the first use of electricity on the Station to the 1958 fitout is significant to the understanding and interpretation of the place. It is to be retained in situ and wherever possible in working condition.</i>	This is proposed. Where electrical fittings are beyond serviceability, they will be replaced with a sympathetic fitting. Where fittings are retained they will be serviced to bring them inline with the Australian Standards.
CPP16.8.2	<i>The supply infrastructure is significant to the understanding and interpretation of the place and is to be maintained with a program of maintenance and replacement as required</i>	Supply infrastructure is to be upgraded as required to satisfy safety requirements. However the pattern of supply using poles, overhead wires, communication points to buildings etc., is being retained.
CPP16.8.3	<i>Switchboards and the wiring infrastructure of buildings are to satisfy current codes and BCA requirements and may be adapted as required. New or replacement services are to be located within buildings to avoid surface mounted wiring or conduits or damage to significant fabric. A strategy for the placement of new services is to be developed for each building or group of buildings demonstrating how cabling and new fittings are to be introduced and integrated to conserve significance.</i>	New services will be incorporated into the internal added wall structures. It is not proposed to use surface mounted conduits in the accommodation areas. Surface mounted conduit that is required will run along side of existing surface mounted conduit (i.e. A14-17). A written specification on the procedure of running new wiring will be submitted as an appendix to the Conservation Works Plan.
CPP16.8.4	<i>A new and consistent electrical fitout is to be designed and used across the site that clearly distinguishes the current work as a further layer of servicing to the site. Fittings should not replicate historic forms but should be stylistically appropriate for the building and its context.</i>	This is proposed and is set out in the schedules. New fittings will be distinguished as new modern fittings and will not detract from the original fittings or fixtures.
CPP16.8.5	<i>New communication systems to the site should utilise the present telephone conduit infrastructure wherever possible. Connections to buildings not presently connected to this system are permissible and should be an extension of the existing system. Refer to policies on site services for policies on the location and installation of new service lines.</i>	This is proposed, all new telecommunication lines will utilise existing conduit lines, where new lines are added, the existing system will be assessed and where possible new lines will be extended on the existing system. If it is not possible to extend the existing lines, the new lines will be installed in accordance with the site

		services policies.
CPP16.8.6	<i>Communication systems should have a consistent fitout in rooms that clearly marks them as a new layer of fitout.</i>	This is proposed, new communication system will be incorporated into the fitout and will be clearly identified as new services.
CPP16.8.7	<i>Emergency lighting systems are to be designed and located to have minimum impact on the significant fabric of the place. A standard approach to emergency lights is to be developed across the site and a sample installation provided to approval to proceed. Battery units are not to be located in viewable areas.</i>	Emergency lighting is being provided to required spaces. Samples will be provided in the section 60 stage of the plan.

Table 1.8 Plumbing and drainage

Policy No.	Policy	Comments and Strategy
CPP16.9.1	<i>Existing plumbing fitout is to be retained wherever possible throughout the Station. Fitout should only be replaced where it can not be re-used (refer to CPP16.9.4) or repaired. Proposals for reuse must demonstrate that existing fitout is being retained wherever possible across the site and that new fittings are only to be used where items do not function or where new facilities are being provided.</i>	It is intended to utilise existing services and to render such services operational. Fittings not capable of being serviced or brought up to standard of operation will be replaced. Where new services are being provided it is still the intent to service the existing plumbing fitout to render them operational.
CPP16.9.2	<i>Where new fitout is required it should be stylistically consistent across the site and be compatible with existing fitout but clearly discernible as new, following ESD principles. This applies to taps, spouts and shower heads, basins, baths, WCs etc.</i>	This has been complied with.
CPP16.9.3	<i>Basins in rooms are to be generally retained except as outlined above or on the building data sheets.</i>	Basins in rooms are retained, refinished and in some instance relocated in rooms to provide better access, as allowed by the DACMP.
CPP16.9.4	<i>Taps that have failed should be replaced with a consistent style of contemporary fitting. Where existing fittings are operational they are to be retained. Taps in fitouts noted as significant are to be retained and repaired.</i>	This is proposed, only taps beyond repair will be replaced with a new contemporary fitting as scheduled. Significant taps will be retained insitu.
CPP16.9.5	<i>New drainage lines under buildings are to comply with the requirements set out above for use of materials and location of pipe work.</i>	This is achieved, new drainage lines under buildings will comply with the requirements of the BCA and policies of the DACMP.
CPP16.9.6	<i>Where rooms are not to be used for accommodation and have only an interpretive function, the hot water units, basins and bathroom fitout are to be retained in situ with other fitout. In rooms used for ongoing accommodation, hot water units and basins are also to be retained in situ whether to be used or not. Where evidence of pre1950s fitout survives (generally original fitout) it is to be retained in situ in all locations.</i>	Bathroom fitouts to accommodation areas and non accommodation area have been assessed and are as set out by the approved or proposed Section 60 applications and also as indicated in the Conservation Works Program.
CPP16.9.7	<i>Where rooms continue to be used for accommodation and the heater is not in working condition, a new heater may be installed or hot water connected from a central</i>	A site wide strategy for hot water units in accommodation rooms have been scheduled in the Section 60 approved

	<p><i>location and the heaters retained in situ but non-operational. Rooms to which this applies are those that are not altered and do not have the introduction of new bathrooms or services. This will provide a sampling across the whole site of fittings and fitout.</i></p>	<p>and proposed applications. The Conservation Works Plan also outlines this strategy.</p>
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Table 1.9 Painting

Policy No.	Policy	Comments and Strategy
CPP16.10.3	<i>Where existing paint surfaces require repainting they are to be retained wherever possible and over-painted to achieve encapsulation. Internal significant painted surfaces designated to be retained are also to be protected during any work. Where there is flaking or loose paint it is to be either stabilised or locally removed to reduce risk of lead contact. Painted surfaces identified as significant are not to be repainted.</i>	The specifications for each building are attached to the Section 60 Application. Each building is assessed on its own merit and conforms to the requirements of the DACMP and Conditions of consent outlining painted surfaces to be retained. A painting specification has been attached to the CWP, outlining the correct procedures for encapsulation, stabilisation, working with lead base paints and over-painting surfaces.
CPP16.10.5	<i>A cyclical program of painting is to be established. A schedule of works is to be submitted with any proposals for use of the place.</i>	A cyclical painting program will be tabled into the proposed maintenance audit of the station, this will occur on a regular basis.
CPP16.10.6	<i>Licensed and experienced trades people are required to carry out all work. Supervision is to be provided by a qualified conservation architect on a regular basis.</i>	This is proposed, a list of certified tradesman will be submitted to the NSW H.O. and DEC and all works will be supervised by and qualified conservation architect.

Table 1.10 Air conditioning and mechanical ventilation

Policy No.	Policy	Comments and Strategy
CPP16.11.1	<i>Air conditioning is not to be introduced into the Quarantine Station except in strictly controlled situations where archival storage or the like is required in small areas. It is not appropriate to introduce air conditioning to accommodation spaces or public areas of the complex.</i>	Air conditioning will be introduced into areas only as set out by the Consent Conditions of Approval.
CPP16.11.2	<i>Mechanical ventilation will be required in relation to kitchen and food preparation areas (whether in existing locations or new locations as set out in other policy). Mechanical ventilation is only to be introduced where: a it is already in place and requires upgrading, in which case it should have no greater impact than the existing</i>	Mechanical ventilation that is required in location to proposed kitchen area to P6 will be installed with no impact on the existing building fabric and will be reversible. Upgrading of mechanical ventilation will occur to building P13,

	<p><i>system and preferably should be designed to have a lesser impact on fabric and aesthetic values</i></p> <p><i>b it is reversible without adverse impact to significant fabric</i></p> <p><i>c it is required to comply with health regulations</i></p> <p><i>d it has no aural impact on the experience of the Station</i></p> <p><i>e it has NO visual impact on the building or setting</i></p> <p><i>Mechanical ventilation should not be introduced to existing kitchens that are of high significance. Where kitchens currently have a mechanical venting system it may be retained and, where the kitchen is in use, upgraded over time provided that this does not adversely impact on significance.</i></p>	<p>the overall impact of the existing service will be reduced and the existing extractor lines will be utilised into the new design.</p> <p>All installation will comply with health regulations and the BCA, and will have no adverse impact on the experience at the Station.</p> <p>Other kitchen areas not noted will be assessed and a need basis and will comply with the above requirements.</p>
<p>CPP16.11.3</p>	<p><i>No equipment related to air conditioning or mechanical ventilation (where allowed) is to be visible from any public area.</i></p>	<p>New mechanical and air conditioning equipment will not be visible from public area.</p>



Table 1.11 Bathroom and toilet fitout

Policy No.	Policy	Comments and Strategy
CPP16.12.1	<i>Bathroom and WC fitouts are to be retained where set out above. Bathroom and WC fitouts should not be altered unless there is a health issue related to ongoing use, or failure of fitout or finishes that makes the bathrooms nonfunctioning.</i>	All bathroom and WC fitouts will be serviced and made operational. The spatial arrangements of the compartments will remain intact for site wide sampling. Fixtures and fitouts will only be replaced when they are no longer serviceable as a requirement under the DACMP and Conditions of Consent.
CPP16.12.2	<i>Adaptation of bathrooms that must be retained should be limited to removing failed fitout elements such as the vinyl sheeting and bath surrounds. Wherever possible the existing fitout is to be used with new finishes applied as required to provide functional bathrooms.</i>	Refer to the detailed proposal in this plan and in the Section 60 applications.
CPP16.12.3	<i>No material surviving from early or original construction of bathrooms is to be removed. This applies to early fittings (generally nominated on building data sheets), wall and ceiling finishes, room layouts where they survive, doors and joinery details and evidence of early fitout including ventilators, wastes, lead floors etc.</i>	This policy is being strictly adhered to and all earlier fitting and fitouts will remain intact for overall site wide sampling. Only in cases where asbestos become a health risk to the occupants will materials be replaced with similar modern materials. This condition is being thoroughly addressed in the Asbestos Sampling Strategy.
CPP16.12.4	<i>New bathroom locks and furniture may be installed only when the significant existing furniture is not functional (as set out in CPP16.7) or when existing furniture is not safely operable.</i>	Bathroom locks and furniture will only be replaced when they are no longer operational or become a risk to the occupants. New fittings will be sympathetic with earlier fittings.
CPP16.12.5	<i>Tiling of bathrooms and WCs is not appropriate. Floor finishes should remain concrete or vinyl sheeting where currently in place. Repainting of concrete floors to provide a sealed surface is acceptable. Repair of cracks should form part of this work.</i>	The conservation plans attached to the drawings that are submitted to NSW H.O. and DEC for approval outlines areas where works are required and indicated the procedures for repairs and replacement with like for like materials.
CPP16.12.6	<i>A bathroom may be returned to its original fitout for</i>	It is not the intent of the co-proponent

	<p><i>interpretation purposes only where sufficient evidence of the form survives to allow this to be undertaken accurately. An appropriate interpretation strategy is required.</i></p>	<p>to return original bathroom fitouts for interpretation, but to bring the existing service into operation and service or update unserviceable items.</p>
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## **2.0 Accommodation building P6 prototype**

The intent of the prototyping is to test the proposed solution before proceeding to their broad application across the site. This work has to be carried out and approved prior to other work proceeding.

It is anticipated that this testing process may include some changes to construction techniques, finishes, retention methods, etc. to achieve the desired outcome.

It is also anticipated that there will be a high level of interactiveness between the Proponent, Heritage Office and DEC during the work in P6.

Should changes ensue from this process they will then be incorporated into other plans whether approved or not. This action is anticipated in the condition of consent.

## **3.0 Bathroom and toilet fitouts**

### **3.1 Approach to sampling**

The significant fitout of existing bathrooms will be retained as set out in the DACMP.

The DACMP sets out for each building which bathrooms are to be retained and the level of change that can take place where change is considered appropriate. Change may be required due to failure of fitout items, previous changes that have affected significance or an assessment that specific items are not significant.

The sampling strategy is set out in full in Section 3.3 of the Conservation Works Program.

The strategy and DACMP require that taps, spouts, shower heads, basins, baths and toilets be retained and repaired where possible and where that is not possible that they are replaced with items removed from other parts of the site. New fitout is only proposed where repair or replacement cannot be achieved.

### **3.2 Intent of sampling**

The intent of the DACMP is to retain elements from the 1950-1960 phase of occupation as a layer across the site that can be interpreted. The policy was specifically written to ensure that fabric from this period is kept and that the whole site is not returned to an earlier period of presentation. The condition of consent places an emphasis on the Aviation period of use of the Station where the DACMP was looking for a more balanced approach to retention of fabric from all Quarantine phases of life including the Aviation Phase, but not at the expense of other phases of use.

The strategy retains many of the bathroom fitouts from the intended occupant plan. They are retained in form, in material (where that is serviceable), in fitout elements such as baths, toilets, basins, locks and taps, etc.

The areas of greatest difficulty are the wall linings which contain asbestos and the poor condition of much of the plumbing. The plumbing is addressed by using taps and fittings in working condition from other areas when they are renewed and retaining these elements in sampled areas. Where this is not possible, fittings are to be refurbished.

The quantum of wall linings is more difficult. In some areas they are to be retained in other areas they are scheduled to be replaced with a similar (not asbestos) material. This a pragmatic outcome to allow the buildings not only to be retained unaltered in some locations as display spaces but also to view and experience rooms with

selective upgrade and replacement of fabric as it fails. This is consistent with patterns of site management over the life of the Quarantine Station.

### **3.3 Style and specifications**

The approach to new bathroom and toilet fitouts (creating new bathrooms) is to provide a clearly contemporary look that marks them as contemporary interventions. Section 10 provides profiles of baths, tapware, basins, toilets, shower heads, towel rails, soap dishes, shelves and toilet roll holders. Section 10 demonstrates the predominant use of brushed chrome that is simple and referenced to earlier forms, but with a modern styling that distinguishes these units from the retained and sampled bathroom areas.

Finishes to new bathrooms must provide a minimum standard of safety and performance to satisfy current codes and OH&S requirements. A response to compliance has been the use of ceramic tiles rather than vinyl tiles in bathroom areas in order to achieve suitable grip, another is the introduction of waterproofing to wet areas which was not part of the original fitout.

### **3.4 Consistency with relevant DACMP policies**

Bathroom fitout items were included in the Section 60 applications made to the NSW Heritage Office. Several bathroom fitout items have already been approved by the Heritage Office under Section 60 building approvals, particularly taps and sanitary ware. The approval reflects the detailed layouts of the bathrooms and the use of various materials and fitout elements. It is noted that there is some minor variation between the approved section 60 applications and this plan in the selection of fittings in bathrooms. This reflects the process of refinement of fitout that is currently taking place. It also reflects the evolving nature of the approvals and submission of the various plans across the site. Selection changes do not affect layouts or basic use of materials and arise from the staged nature of the application process and the delays in undertaking the prototype rooms in P6. These variations are set out later in this plan.

## **4.0 Floor coverings**

### **4.1 Style and specifications**

All accommodation buildings, lounge rooms (where carpeted) and former staff cottages will be carpeted to improve acoustic and thermal performance. The carpet design will be seen as a layer that distinguishes it from other floor finishes and treatments that have an historical basis. Section 10 provides swatches of the carpets, demonstrating the use of earthy colours and simple design.

Floor finishes to proposed bathroom areas will be vinyl, with a high slip rating to ensure good grip when wet. Existing bathrooms retain their floor finish types; this is detailed on each application. Section 10 demonstrates that the colour schemes for new bathrooms will be neutral, refer to the colour schedules for full details.

It is proposed that the sample construction in building P6 provide rolled vinyl flooring to an en-suite bathroom for consideration by the NSW Heritage Office.

## **4.2 Consistency with relevant DACMP policies**

Some flooring / wall fitout items were have already been approved by the Heritage Office under Section 60 building applications, particularly tiles. The precedent for introducing carpet to improve acoustics and amenity of the rooms has been introduced between 1984 and 2004 by the NPWS in their fitout of accommodation rooms and offices. Providing new floor coverings is acceptable under DACMP policies except where particular sampling is to take place and provided the element can be removed in the future. The DACMP does not provide any guidance or constraints on the selection of new floor coverings for new fitout works.

# **5.0 Electrical fittings**

## **5.1 Style and specifications**

Lights in larger rooms and throughout sampled rooms will be retained. Section 10 documents the proposed light switches. Elsewhere light switches will be introduced in standard HPM white vertical switch plates. The switch design is a good compromise needed to blend with retained lights elsewhere while providing a differentiated and contemporary product.

Section 10 documents the proposed power switches. Single power switches for socket outlets will adopt the same design as the light switches while general power points will retain the chrome but shift to black plastic.

Section 10 documents the proposed ceiling fans with lights built in, which will continue the same simple design and chrome / brushed steel materials. The location of fittings is set out on each section 60 application and is not replicated in this broader plan. Fans are provided to each bedroom and in some living areas to improve the current poor room ventilation.

## **5.2 Consistency with relevant DACMP policies**

The DACMP requires a layer of existing electrical fitout to be retained in sections of the buildings and for any introduced items to be discernible. Accommodation rooms and new bathrooms generally have new electrical fitout as a new layer applied to the spaces. With the sampling and retention of existing fitout (whether used or not) the introduction of new services is both necessary to allow the place to function safely and satisfies the DACMP requirements for retention of fitout.

# **6.0 Telecommunications**

## **6.1 Style and specifications**

Currently there is minimal or no telecommunication systems in rooms to be fitted out. Historically there is no precedent for this form of fitout. The style of the fitout will match the GPO and light switch plates and is intended to provide a consistent layer of wall plates throughout the site accommodating phone and data points. Contemporary designed telephones will ensure that there can be no confusion with historic layers. Given the limited floor space, flat screen televisions will be fitted to bedroom walls where televisions are to be provided (note they are not provided to every room).

## 6.2 Consistency with relevant DACMP policies

The DACMP does not specifically address telecommunications or new design interventions. However the intent of new works is to provide a clear delineation between new and old elements. The proposed fitout is clearly contemporary and satisfies this broad policy.

# 7.0 Painting

## 7.1 Style and specifications

The Conditions of Approval do not require approval to be sought for painting where it is undertaken in accordance with the provisions of the Conservation Works Program or relevant site-wide plan(s). Painting schemes will be simple neutral interior colour schemes, to reflect but not to accurately copy historic schemes to ensure rooms are intentionally contemporary in character and provide a new layer to the site. Internal paint finishes reflect the gloss level used previously on painted surfaces so that rooms are experienced similarly to their quarantine period of use. Paint schemes and finishes are simple and basic also reflecting the approach to paint schemes that has prevailed through most of the life of the station. Colours are set out in the schedules.

## 7.2 Consistency with relevant DACMP policies

The proposed painting scheme for accommodation buildings is consistent with historical use, where the accommodation and lounge areas were simply presented with basic colour schemes and basic furnishings. This is also consistent with the approach developed by NPWS over the 1984 to 2004 period, where rooms have been refitted using new colour schemes and materials to provide a basic but comfortable level of accommodation consistent with the basic pattern of fitout that existed during the use as a Quarantine Station.

It is proposed to apply one consistent colour scheme to accommodation areas (bedrooms, lounge areas and bathrooms) across the whole site which will assist reflect the often historically uniform approach to building maintenance seen in most phases of the stations development and use. The colour schemes for other spaces throughout the site will be addressed in the stage 2 fitout submission. Colour schemes are set out in Section 10 of the plan.

The DACMP looks to retain existing colour schemes on the site to reflect the various phases of use as well as reflecting the last phase of use of the station for quarantine.

The DACMP Volume 1 Section CPP16.10 Painting sets out the following guidance on paint finishes:

*Paint schemes for the buildings can derive from a number of sources. There are known colour schemes based on paint scrapes and historical research.....*

*There are several examples of colour schemes that were in place at the time of closure of the station in 1984. It may be appropriate to retain some or all of these as part of the interpretation of the place. .... One of the difficulties in returning the paint schemes of buildings to earlier periods is the overall appearance of the place. This can be seen in the 1<sup>st</sup>/2<sup>nd</sup> class and Administration precincts where the building construction dates vary from 1875 to 1950. Decisions on colour should be made in the context of an overall interpretation plan for the place.*

There are general policies on internal painting within the DACMP except to retain painted finishes when repainting and not to remove them during preparation works.

The sampling strategies (set out in the Conservation Works Program) address the use of external and retained internal colour schemes across the site but generally the accommodation buildings, which are the major part of this stage 1 submission for interior fitout, will reflect the last phase of quarantine use which utilised pastel colours and a neutral almost bland and institutional approach to colour. This is reflected in the colour selections proposed for accommodation rooms, bathrooms and lounge rooms as set out in the attached schedules in the accompanying volume.

The fitout plan does not address external colour selections. Other parts of the site will retain specific historic colour schemes as required by specific DACMP policies for various buildings.

## **8.0 Furnishings**

### **8.1 Style and specifications**

The objective of the furniture fitout is to provide a simple purpose designed suite that is consistent across the site and reflects the traditional consistent pattern of furnishing across the site where every room had basically the same is avoided except in rooms to be sampled where existing furnishings are used to present the historic form of rooms.

Section 12 provides a furniture Schedule and Section 9 provides further detail on joinery items.

### **8.2 Consistency with relevant DACMP policies**

The level of amenity at the Quarantine Station for internees was basic. Internee accommodation rooms are generally small providing for only basic furnishings, the size of rooms does not relate to the class of accommodation nor does the arrangement of bathroom facilities. The new fitout, while providing comfort and amenity is similarly basic.

The DACMP does not provide any policy on introduced furnishings or fitout.

### **8.3 Proposed reuse of moveable heritage items**

It is not proposed to re-introduce furniture or fittings into accommodation rooms (noting that basins some light fittings presently in rooms are to be retained in some rooms as set out in the sampling strategies). Accommodation rooms will receive a new fitout; however some items such as mirrors, wall units and basins are retained as sampled items for some rooms (particularly buildings P1 and P2).

The fitout of cottage accommodation is proposed to involve utilising some existing furniture and fittings (particularly armchairs, occasional tables and specialised joinery items) in accordance with the movable heritage plan.

A brief outline of the use of fitout and furniture in other buildings on the site that will form part of the stage 2 application for internal fitout is:

- In the lounges (P3 and P7) and small conference rooms (P10, P11 and P12) it is proposed to retain some existing items such as mirrors and the gramophone in P4, but curtains and other soft furnishings will be replaced and chairs and other furniture will be incorporated with new furniture in the cottages.
- The adaptation of building A2 for conference use will retain perimeter joinery and shelving, which will be adapted into display cabinets for items from the moveable heritage collection and the lockers, will be retained for ongoing storage of housekeeping equipment.
- The First Class Dining Room (P5) will retain its dining room furniture (tables and chairs and sideboard and mirrors).
- The First Class Kitchen (P6) will retain built in fixtures and fittings as well as loose kitchen equipment including the large servery table.
- The Second Class Kitchen will retain stainless steel benching, the exhaust hoods and cool room will be replaced.

#### **8.4 Acquisition, sampling and disposal of fabric**

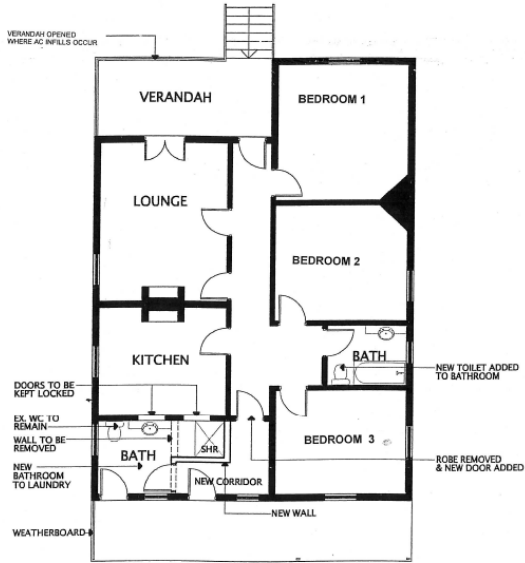
The Moveable Heritage Plan will provide policy and processes to guide:

- the acquisition of items from the moveable heritage collection for either use in the operation of the station or for display
- the sampling of significant building fabric and other material being removed during the fitout process: and
- the disposal of material not selected for acquisition or sampling

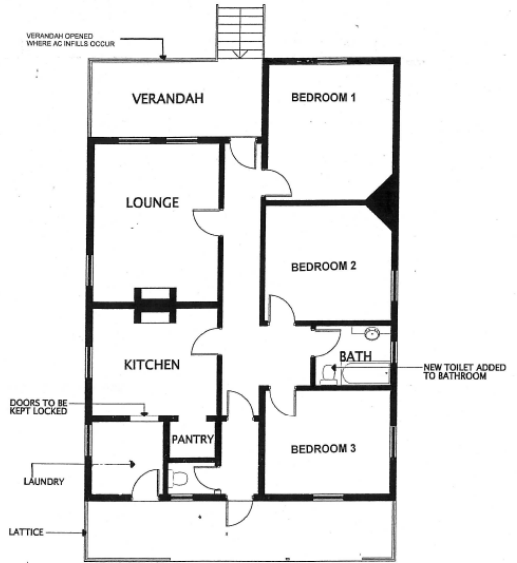
The Movable Heritage Plan will be completed and approved prior to fitout commencing to provide guidance during the fitout period.



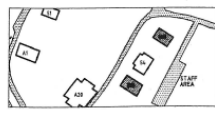
## **9.0 Plans and drawings**



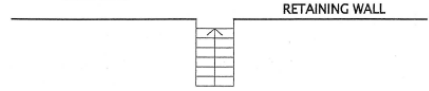
**BUILDING S10**  
HOTEL ACCOMMODATION  
SCALE 1:100



**BUILDING S12**  
HOTEL ACCOMMODATION  
SCALE 1:100



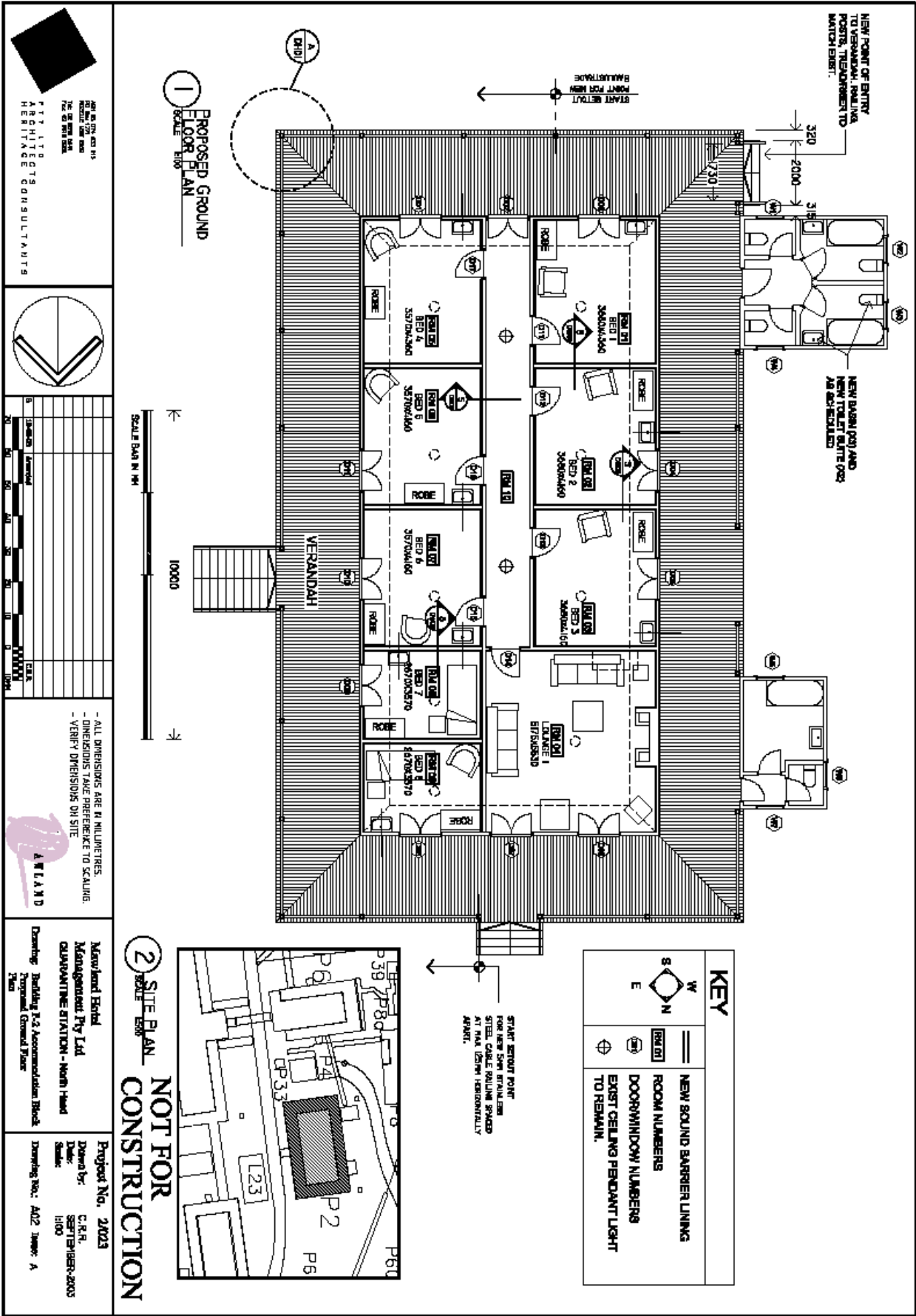
LOCATION PLAN



RETAINING WALL

		<p><b>MAWLAND</b> ARCHITECTS 100/102, WILSON STREET SYDNEY NSW 2000 TEL: 02 9550 1111 WWW.MAWLAND.COM.AU</p>	<p>PROJECT <b>QUARANTINE STATION</b> NORTH HEAD SYDNEY</p>		<p>DRAWING <b>BUILDINGS S10 &amp; S12 PLANS</b></p>	<p>FILE #</p>	<p>SCALE AS SHOWN</p>	<p>ISSUED APRIL 2003</p>	<p>PLOTTED DATE 17-05-03</p>
					<p>HOTEL ACCOMMODATION</p>	<p>947</p>	<p>L-S10</p>	<p>ISSUE C</p>	

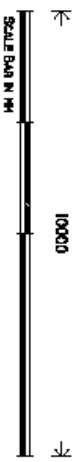




NEW POINT OF ENTRY TO VERANDAH, LEADING POSTS, THEREAFTER TO MATCH EXIST.

NEW BARRER LINK AND NEW TRAIL LIGHTS AS DETAILLED

1 PROPOSED GROUND FLOOR PLAN  
SCALE 1:100



2 SITE PLAN  
SCALE 1:500

**NOT FOR CONSTRUCTION**

KEY	
	NEW SOUND BARRIER LINKS
	ROOM NUMBERS
	DOOR/WINDOW NUMBERS
	EXIST CEILING PENDANT LIGHT TO REMAIN.

117 118 ARCHITECTS CONSULTANTS  
117 118 ARCHITECTS CONSULTANTS



NO.	REVISION	DATE
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2	ISSUED FOR PERMIT	11/11/2003
3	ISSUED FOR PERMIT	11/11/2003
4	ISSUED FOR PERMIT	11/11/2003
5	ISSUED FOR PERMIT	11/11/2003
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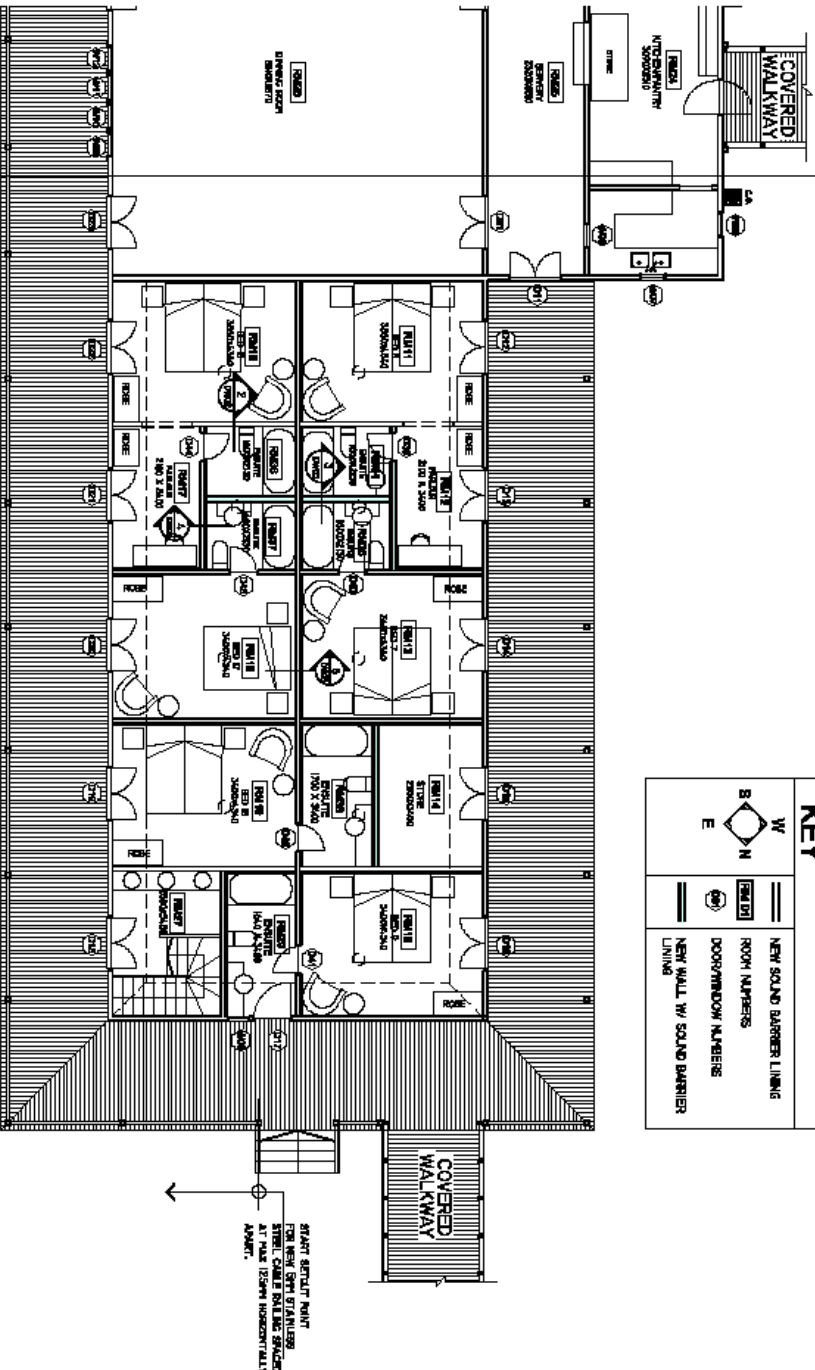
- ALL DIMENSIONS ARE IN MILLIMETRES.  
- DIMENSIONS TAKE PREFERENCE TO SCALING.  
- VERIFY DIMENSIONS ON SITE.

A T L A N D

Manojkand Hotel Management Pty Ltd  
SUBURBANE STATION - NORTH HAVEN  
Drawing: Building & Accommodation Block  
Proposed Ground Floor

Project No: 2023  
Drawn by: C. R.A.  
Date: SEPTEMBER-2003  
Scale: 1:100  
Drawing No: A02 Issue: A





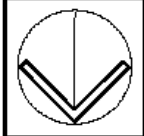
KEY	
W	NEW SOUND BARRIER LINING
B	ROOM NUMBERS
N	DOOR/WINDOW NUMBERS
E	NEW WALL W/ SOUND BARRIER LINING

PROPOSED GROUND FLOOR PLAN

MATCH POINT 1 MATCH POINT 2

NOT FOR CONSTRUCTION

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 4516 4517 4518 4519 4520  
 4521 4522 4523 4524 4525  
 4526 4527 4528 4529 4530  
 4531 4532 4533 4534 4535  
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NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	ISSUED FOR PERMIT APPLICATION	15/10/2023	...	...
2	ISSUED FOR CONSTRUCTION	...	...	...
3	ISSUED FOR AS-BUILT	...	...	...
4	ISSUED FOR FINAL	...	...	...
5	ISSUED FOR ARCHIVE	...	...	...

ALL DIMENSIONS ARE IN MILLIMETERS.  
 DIMENSIONS TAKE PRECEDENCE TO SCALE.  
 VERIFY DIMENSIONS ON SITE.

Manland Hotel Management Pty Ltd  
 Queensland Station - North Head  
 Building P-4 Accommodation Block  
 Proposed Ground Floor Plan

Project No. 2023  
 Drawn by: CSR  
 Date: 15/10/2023  
 Scale: 1:100  
 Drawing No. A06







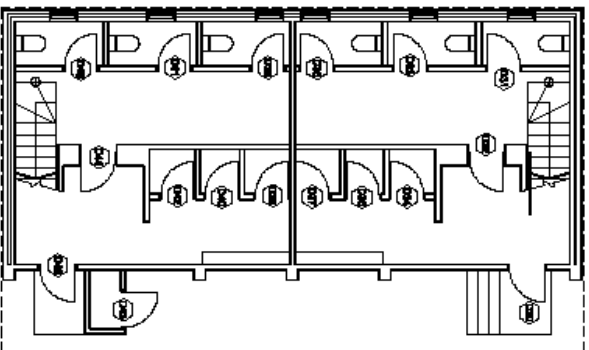




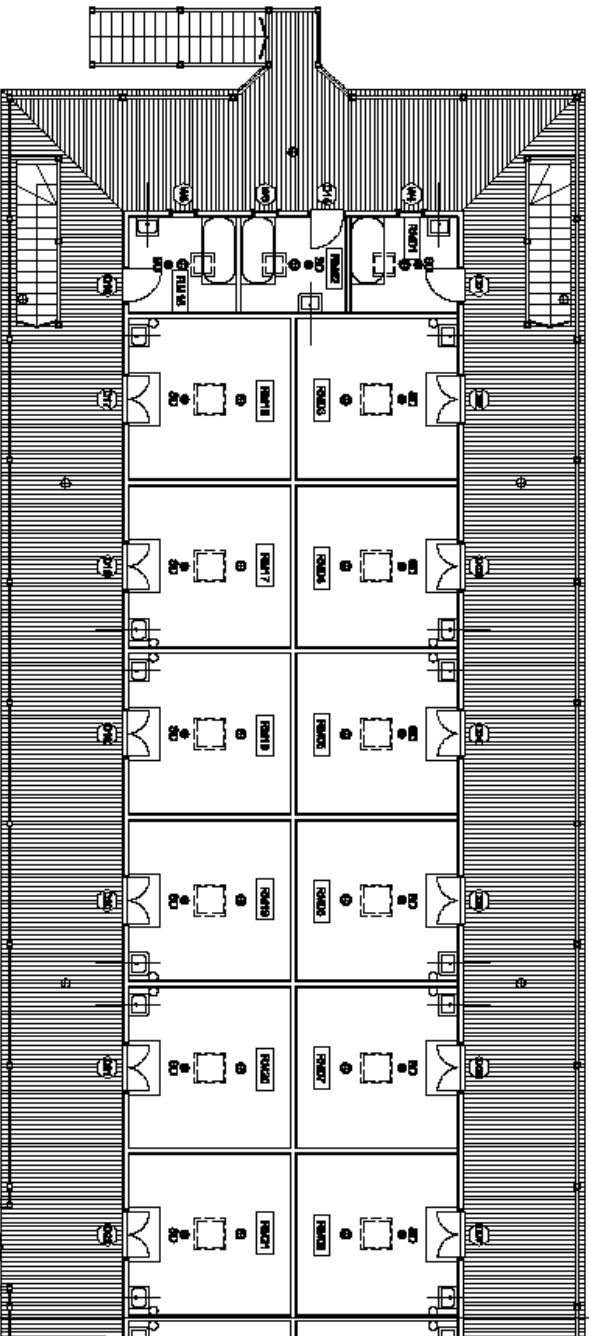






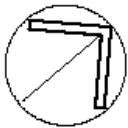


1 EXISTING LOWER GROUND FLOOR PLAN  
SCALE: 1:50



2 EXISTING GROUND FLOOR PLAN  
SCALE: 1:50

**PTV LTD**  
ARCHITECTS  
ABN 65 074 633 012  
PO BOX 298  
BALMAIN NSW 2041  
Tel: 02 9618 6641  
Fax: 02 9618 5802



A	02-18-11	REVISED DRS2 1 NEW HOV CONSERVATION WORKS	1:50
B	02-18-20	DWG - FOR APPROVAL	1:50

ALL DIMENSIONS ARE IN MILLIMETRES  
- VERIFY DIMENSIONS ON SITE  
DATE: 18/11/20  
DRAWN BY: A.M.L.B.D.

**Midland Hotel**  
Management Pty Ltd  
Quarantine Station - North Head  
Name: Building P-11 Accommodation Block  
Existing Ground Floor Plan

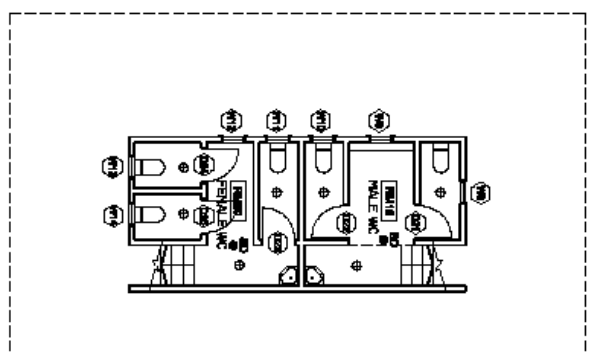
Project No: 210223  
Drawn by: GAO  
Date: SEP 2020  
Sheet: 11/00  
Name: Drawing No: A01

**CWP - FOR APPROVAL**

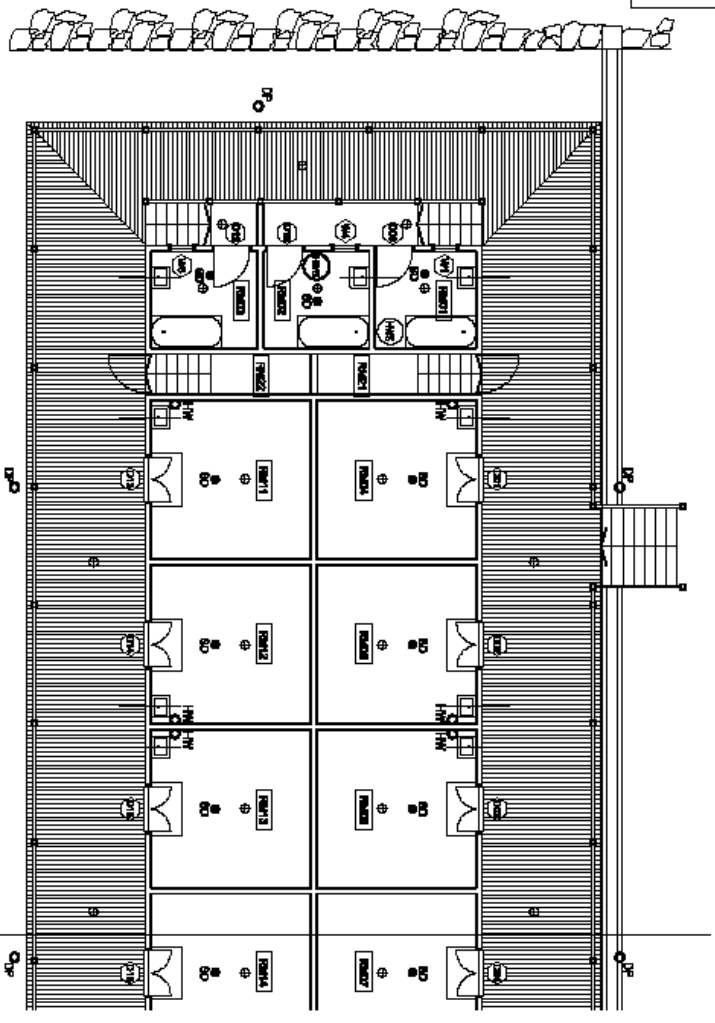
COVERED  
WALKWAY  
MATCH POINT

**KEY**

- ROOM NUMBERS
- DOOR/WINDOW NUMBERS
- CELLULAR MOUNTED PENDANT LIGHT FITTING
- SMOKE DETECTOR
- WALL MOUNTED HOT WATER UNIT
- A/C DOWNPIPE



1 EXISTING LOWER GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 EXISTING GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**GWP - FOR APPROVAL**  
**SECTION 60 - APPROVED**  
**CAAC - APPROVED**

HAIRY POINT 1  
HAIRY POINT 2

**ARCHITECTS**  
JWY LTD  
ABN 53 074 633 012  
PO BOX 285  
BALMAIN NSW 2041  
TEL: 02 9919 5941  
FAX: 02 8918 5882



NO.	DESCRIPTION	REV.
1	05-21-2018 - FOR APPROVAL	1
2	05-21-2018 - FOR APPROVAL	1
3	05-21-2018 - FOR APPROVAL	1
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12	05-21-2018 - FOR APPROVAL	1
13	05-21-2018 - FOR APPROVAL	1
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50	05-21-2018 - FOR APPROVAL	1

- ALL DIMENSIONS ARE IN MILLIMETRES  
- DIMENSIONS TAKE PRECEDENCE TO EQUALLY  
- VERIFY DIMENSIONS ON SITE

**JWY LTD**

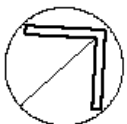
**Merivard Hotel**  
Management Pty Ltd  
Quarantine Station - North Head  
Name: Building P-12 Accommodation Block  
Existing Ground Floor Plan

Project No: 2023  
Client: C.R.R.  
Date: October 2008  
Scale: 1/100  
Drawing No: A01





SET NO. 074 OF 003  
 PROJECT NO. 1727  
 REVISION: NEW YORK  
 DATE: 12/08/1998  
 FILE NO. 1727  
 PROJECT NO. 1727  
 F. T. X. LAND  
 ARCHITECTS  
 HERITAGE CONSULTANTS



NO.	DATE	DESCRIPTION	BY	CHKD.
1	12/08/98	ISSUED FOR PERMIT	FTX	FTX
2	12/08/98	REVISION: NEW YORK	FTX	FTX
3	12/08/98	REVISION: NEW YORK	FTX	FTX
4	12/08/98	REVISION: NEW YORK	FTX	FTX
5	12/08/98	REVISION: NEW YORK	FTX	FTX
6	12/08/98	REVISION: NEW YORK	FTX	FTX
7	12/08/98	REVISION: NEW YORK	FTX	FTX
8	12/08/98	REVISION: NEW YORK	FTX	FTX
9	12/08/98	REVISION: NEW YORK	FTX	FTX
10	12/08/98	REVISION: NEW YORK	FTX	FTX

ALL DIMENSIONS ARE IN MILLIMETERS.  
 DIMENSIONS IN PARENTHESIS REFER TO LOCAL  
 DIMENSIONS IN FEET AND INCHES ON SITE.  
 DIMENSIONS IN METERS ON SITE.

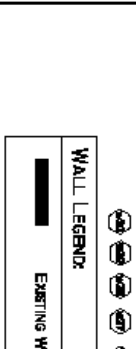
**F. T. X. LAND**

Maryland Hotel  
 Management Pty Ltd  
 Quarantine Station - North Head  
 Crown Building - 5-1 Administration  
 Proposed Ground Floor Plan

Project No. 2223  
 Drawn by C.S.R.  
 Date: December 2003  
 Scale: 1:100  
 Drawing No. A03

# PROPOSED GROUND FLOOR PLAN

SCALE: 1:100



**WALL LEGEND:**

EXISTING WALL

**GENERAL NOTE:**

A. REMOVE ALL EXISTING DIVIDERS ON UNDESIRABLE WINDOW AND DOOR HEADS AS REQUIRED TO MAKE LOCKERS. SEE MANUFACTURER LIST ABOVE FOR SPECIFICATIONS.

B. EXISTING WINDOW TREATS REMOVED SHALL BE REINSTALLED BY LOCATION NUMBER AND NOT REWORK ON SITE FOR ALL REMAINS.

C. LINE WHICH INDICATES REMOVAL OF EXISTING WALL SHALL BE PAINTED 3 PARTS 9 PARTS

**MANUFACTURER LIST:**

SET NO.	1-1/2 PAIR HINGES	STOP	LOCKSET INTERNAL
1			

**ROOM FINISH SCHEDULE:**

ROOM NO.	ROOM NAME	FLOOR	SKIRT	WALLS	NORTH	SOUTH	EAST	WEST	CEILING	REMARKS
PT 001	MEETING ROOM	CF	TB	P	P	P	P	P	Pc	FIT NEW DOOR HARDWARE AND WINDOW HARDWARE FROM HERITAGE CONSULTANTS.
PT 002	WOMEN'S LOCKER ROOM	CF	TB	P	P	P	P	P	Pc	EXISTING TILE HEIGHTS TO REMAIN FROM EXISTING TILE HEIGHT.
PT 003	LOUNGE	CF	TB	P	P	P	P	P	Pc	PAINT WALL LINING ABOVE TILE LINE. TYP. ALL WALLS.
PT 004	HALL	CF	TB	P	P	P	P	P	Pc	GLUE NEW TILES TO PROPOSED LAMINATE BOARD. REMOVE SURFACE IN SHORTLY TO RECEIVE NEW FINISH.
PT 005	FEMALE TOILET	EXST	EXST	EXST	EXST	EXST	EXST	EXST	Pc	PAINT WALL LINING ABOVE TILE LINE. TYP. ALL WALLS.
PT 006	MENS LOCKER	CF	TB	Pc	Pc	Pc	Pc	Pc	Pc	GLUE NEW TILES TO PROPOSED LAMINATE BOARD. REMOVE SURFACE IN SHORTLY TO RECEIVE NEW FINISH.
PT 007	KITCHEN	VT	TB	CF	CF	CF	CF	CF	Pc	GLUE NEW TILES TO PROPOSED LAMINATE BOARD. REMOVE SURFACE IN SHORTLY TO RECEIVE NEW FINISH.
PT 008	DINING	VT	TB	P	P	P	P	P	Pc	GLUE NEW TILES TO PROPOSED LAMINATE BOARD. REMOVE SURFACE IN SHORTLY TO RECEIVE NEW FINISH.
PT 009	MALE BATHROOM	CF	CF	CF	CF	CF	CF	CF	Pc	GLUE NEW TILES TO PROPOSED LAMINATE BOARD. REMOVE SURFACE IN SHORTLY TO RECEIVE NEW FINISH.
PT 010	VERANDAH	PF	-	-	-	-	-	-	-	GLUE NEW TILES TO PROPOSED LAMINATE BOARD. REMOVE SURFACE IN SHORTLY TO RECEIVE NEW FINISH.

LEGEND:  
 CF = CONCRETE FLOOR  
 EXST = EXISTING MATERIAL  
 PF = PAINTED FLOOR FINISH TO REMAIN  
 P = PAINT EXISTING LINING  
 VT = NEW VENT. TILE  
 TB = TYPICAL SKIRTING  
 FC = NEW PAINTED DOWN FC  
 PC = PAINTED CEILING  
 EXST = EXISTING FLOOR FINISH TO REMAIN  
 PFC = PAINTED CONCRETE FINISHING

**HARDWARE SCHEDULE:**

ITEM	MANUFACTURER	DESCRIPTION	FINISH
HINGES	JAM (02) 0327755L	BUTTON TIP BALL BEARING HINGES	STAINLESS STEEL SATIN
LOCKSET - INTERNAL	LOCKWOOD - (02) 9654 401	55M-954 EXTENSION SCREW DEADLATCH	SATIN CHROME
WATER STOP	LOCKWOOD - (02) 9654 401	FLEXIBLE EXTERIOR STOP	ZINC PLATED
WALL BOLTS	LOCKWOOD - (02) 9654 401	FLOOR DOCT L202 SERIAL ROOM LENGTH	SATIN CHROME
PASSAGE SET	LOCKWOOD - (02) 9654 401	531 PASSAGE SET	SATIN CHROME
LOCKSET - INTERNAL	LOCKWOOD - (02) 9654 401	532 PASSAGE SET	SATIN CHROME
LOCKSET - INTERNAL BATHROOM	LOCKWOOD - (02) 9654 401	521 PASSAGE SET	SATIN CHROME
FINISHER SEAL	RAMEN PART. (02) 9654 5355	8005 SET ADVANCING DOOR/WINDOW SEAL	EPDM RUBBER

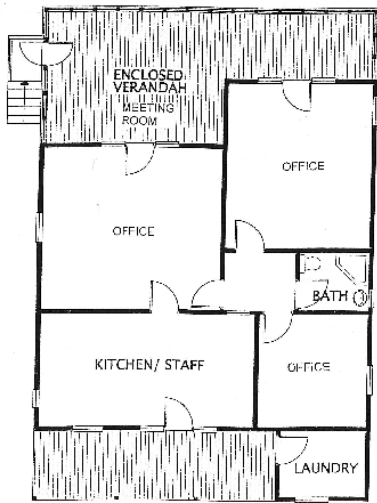
**WINDOW HARDWARE SCHEDULE:**

SKIRT - LINTAS	LOCKWOOD - (02) 9654 401	65MM LENGTH LINTAS - 650002	SATIN CHROME
SKIRT - FINISHER	LOCKWOOD - (02) 9654 401	1422540P	SATIN CHROME

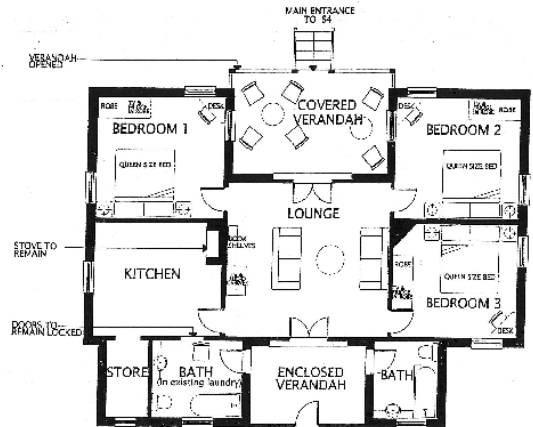
**DOOR SCHEDULE:**

DOOR NO.	LOCATION	DOOR SIZE	REMARKS
1	TOILET EXTERIOR WALL <td>1700x2100 <td>REMOVE EXISTING DOOR HARDWARE AS REQUIRED TO MAKE NEW. INSTALL NEW DOOR WITHIN CONCRETE AND FOLLOWING BLIND</td> </td>	1700x2100 <td>REMOVE EXISTING DOOR HARDWARE AS REQUIRED TO MAKE NEW. INSTALL NEW DOOR WITHIN CONCRETE AND FOLLOWING BLIND</td>	REMOVE EXISTING DOOR HARDWARE AS REQUIRED TO MAKE NEW. INSTALL NEW DOOR WITHIN CONCRETE AND FOLLOWING BLIND

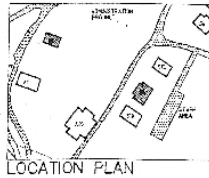
# NIPWS(DEC) WORK PERMIT



BUILDING S1  
ADMINISTRATION  
SCALE 1:100

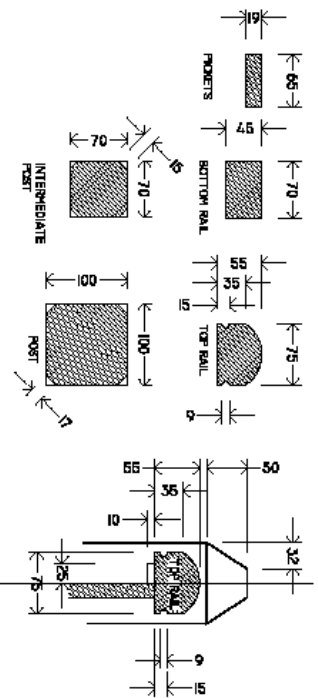


BUILDING S4  
HOTEL ACCOMMODATION  
SCALE 1:100



LOCATION PLAN

			<b>MAWLAND</b> <small>ARCHITECTS</small> <small>100/102 NORTH ROAD, SYDNEY, N.S.W.</small> <small>PHONE 947 2211</small>	<b>QUARANTINE STATION</b> <small>NORTH ROAD</small>		<b>BUILDINGS S1 &amp; S4 PLANS</b> HOTEL ACCOMMODATION HOTEL ADMINISTRATION	<small>NO. 1</small> <small>REVISED</small>	<small>DATE</small> <small>1951</small>	<small>BY</small> <small>...</small>	<small>SCALE</small> <small>...</small>	<small>...</small>
							<small>...</small>	<small>...</small>	<small>...</small>	<small>...</small>	<small>...</small>
							<small>...</small>	<small>...</small>	<small>...</small>	<small>...</small>	<small>...</small>
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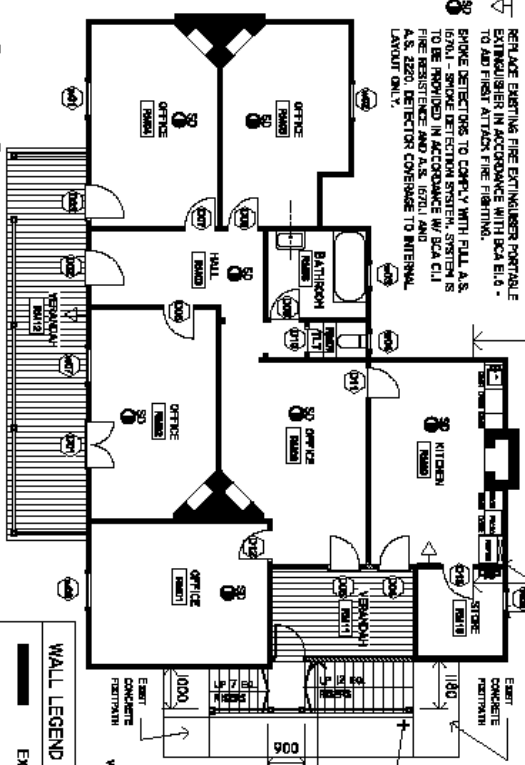
**3 STAIR DETAILS**  
SCALE 1/8"

REPLACE EXISTING FIRE EXTINGUISHER PORTABLE EXTINGUISHER IN ACCORDANCE WITH BOA E1.6 - TO AID FIRST ATTACK FIRE FIGHTING.  
 3. FIRE DETECTORS TO COMPLY WITH B.S. 5816 (ENGL) - SMOKE DETECTION SYSTEM, SYSTEMS TO BE PROVIDED IN ACCORDANCE WITH BOA C1.1 FIRE RESISTANCE AND A.S. 1670.1 AND A.S. 2220. DETECTOR COVERAGE TO INTERNAL LAYOUT ONLY.

REMOVE INTERNAL FINISHES AND APPLIANCES WALL PANELING AS PER FITOUT DETAILS.  
 NEW KITCHEN CABINETS, FINISHING AND APPLIANCES AS PER FITOUT DETAILS.  
 REPAIR AND REFINISH WORK.

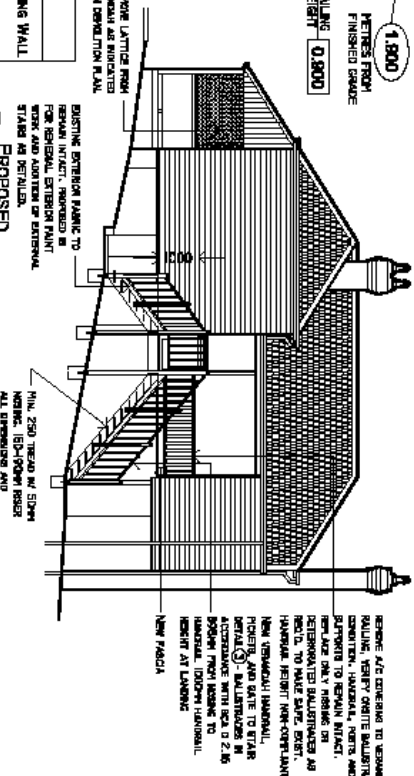
**1 PROPOSED GROUND FLOOR PLAN**  
SCALE 1/8"

**NIPWS (DEC) WORK PERMIT**



ROOM FINISHES SCHEDULE		WALLS				CEILING	REMARKS	
ROOM NO.	ROOM NAME	FLOOR	SKIRT	NORTH	SOUTH	EAST	WEST	
301	OFFICE	CT	Ts	R	R	R	R	Rc
302	OFFICE	CT	Ts	R	R	R	R	Rc
303	OFFICE	CT	Ts	R	R	R	R	Rc
304	OFFICE	CT	Ts	R	R	R	R	Rc
305	BATHROOM	VT	Ts	R	R	R	R	Rc
306	KITCHEN	VT	Ts	R	R	R	R	Rc
307	STORE	VT	Ts	R	R	R	R	Rc
308	SEWAGE	VT	Ts	R	R	R	R	Rc
309	STAIRS	VT	Ts	R	R	R	R	Rc
310	HALL	CT	Ts	R	R	R	R	Rc

**2 PROPOSED STAIR ELEVATION**  
SCALE 1/8"



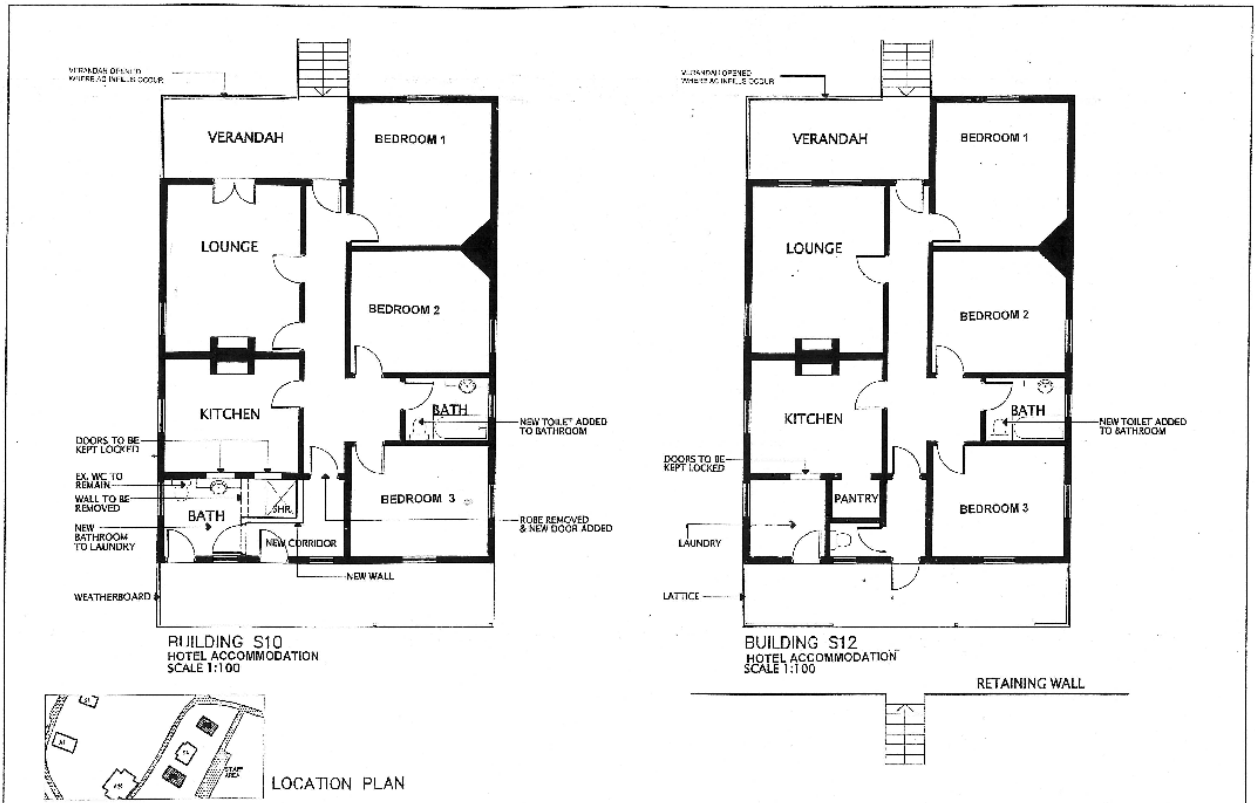
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 14 02 499 9841  
**PTY LTD**  
**ARCHITECTS**  
**CONSULTANTS**

ALL DIMENSIONS AND MATERIALS TO BE IN ACCORDANCE WITH THE NIPWS PERMIT TO WORK.  
 ALL DIMENSIONS AND MATERIALS TO BE IN ACCORDANCE WITH THE NIPWS PERMIT TO WORK.  
 ALL DIMENSIONS AND MATERIALS TO BE IN ACCORDANCE WITH THE NIPWS PERMIT TO WORK.

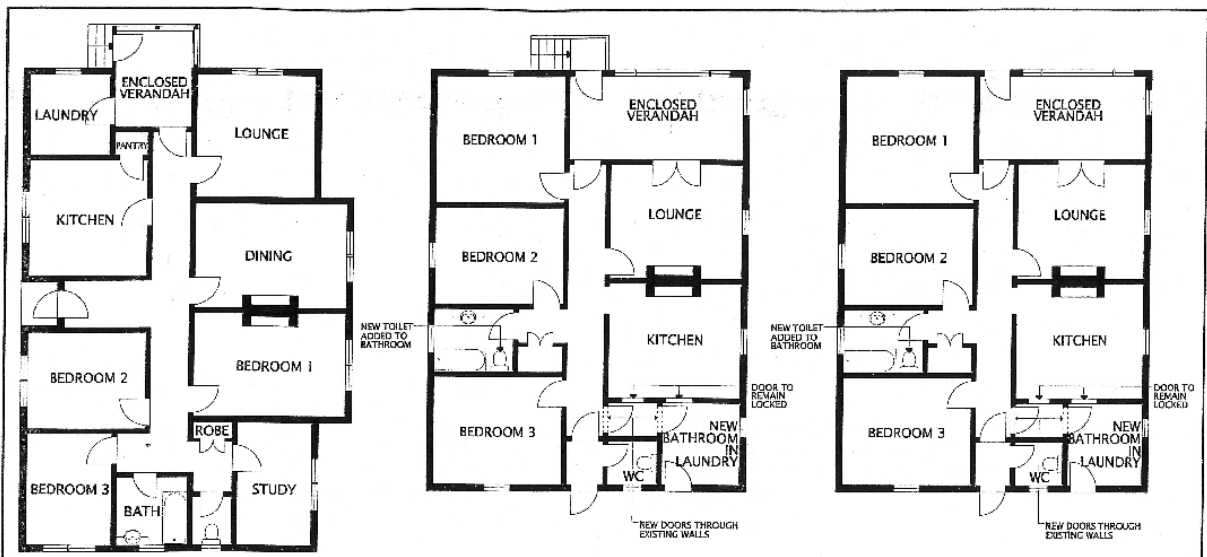
**Merford Hotel**  
**Management Pty Ltd**  
 Queensland Station - North Head  
 Name: Building S2 Administration Building  
 Proposed Ground Floor Plan

Project No: **223**  
 Drawn By: **C.B.R.**  
 Date: **December 2023**  
 Scale: **1:100**

Name: **D**  
 Drawing No.: **A03**



		<p><b>MAWLAND</b> QUARANTINE STATION</p>	<p><b>QUARANTINE STATION</b> NEW HEAD</p>		<p>DATE: 1947</p>	<p>SCALE: 1:100</p>	<p>NO. OF SHEETS: 1</p>	<p>SHEET NO. 1</p>
					<p>PROJECT: BUILDINGS S10 &amp; S12 PLANS</p>	<p>947</p>	<p>L-S10</p>	<p>C</p>



BUILDING S14 - HOTEL ACCOMMODATION  
SCALE 1:100

BUILDING S15 - HOTEL ACCOMMODATION  
SCALE 1:100

BUILDING S16 - HOTEL ACCOMMODATION  
SCALE 1:100



LOCATION PLAN

		<b>MAWLAND</b> <small>ARCHITECTS</small> <small>100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000</small>	<b>QUARANTINE STATION</b> <small>HERN HEAD</small>		BUILDINGS S14, S15 & S16 PLANS HOTEL ACCOMMODATION	DATE: 27-03-72 DRAWN: [Name] CHECKED: [Name] SCALE: C
					947	L-S14

## 10.0 Finishes, Fixtures and Fittings


Table 10.1 CYD Finishes and Fixtures Schedule

AREA	APPLICATION:	SUPPLIER:	SPECIFICATION:	REMARKS:	QTY.	FR
GUESTROOMS P6						
FLOOR	CARPET	Invicta	True Ambience FX0462; colour 065 TAN WAGON	Sisal loop pile, 100% wool		
WALL	PAINT TO WALLS	Wattyl	Lava Smoke WH	Washable low sheen		
TIMBER WORK	PAINT TO TIMBER WORK (skirting, architraves, window & doors frames etc.)	Wattyl	Birchwood	Semi gloss enamel		
CEILING	PAINT TO CEILING	Wattyl	Ceiling White	Flat Acrylic with anti mildew		
LIGHTING / FAN	LIGHTING / FAN	Lucci Beacon Lighting	Concept	60W Halogen 52" Fan with light NOTE: Fan controller switch to be mounted adjacent to proposed or existing light switch.		
ELECTRICAL	ELECTRICAL – LIGHT SWITCHES	HPM	Excel, standard, in CREAM	Waterproof in bathrooms		
	ELECTICAL- GENERAL POWER POINTS	HPM	Excel, standard, in CREAM	Matching mounting blocks are required on architraves. NOTE: Where existing architrave switches exist, replace with an HPM EXCEL architrave switch, 1 gang		
WINDOW FIXING TREATMENT	CURTAIN TRACK	Hugh Meagher & Associates	Dual Forest CCS cord draw double tracks to suit 1880mm width (architrave width + 200mm each side)			

BATHROOMS						
FLOOR & SKIRTING – OPTION 1	FLOOR FINISH	AMTICO	The Metallic Collection, TREADPLATE	In SILVER, LEAD, OR BRONZE		The Standard is BCA Specification C1.10a, Fire Hazard Properties - Floors, Walls and Ceilings. Table 1 states a minimum requirement of 2.2 kW/M2. Amtico tiles rate at 9.6 kW/M2 according to WARRES Report No. 107109. (WARRES is Warrington Research, a US testing facility, similar to CSIRO.)
FLOOR & SKIRTING – OPTION 2	FLOOR FINISH	Forbo	Aqualon relief	REF:24392		NT 007/class G ENISO9239-1
WALL FINISH ABOVE CLADDING TILES	PAINT TO WALL FINISH ABOVE CLADDING TILES	Wattyl	Lava Smoke WH	Washable low sheen		
CEILING	PAINT TO CEILING	Wattyl	Ceiling White	Flat acrylic with anti fungal additive		
WALL TILE	WALL TILE	Academy	Matt white 59320 (9.7x29.7)			
WALL TILE/ FEATURE	WALL TILE	Academy	59312 (9.7x29.7)	To be laid vertically around bath and bath vertical wall		
WALL CAPPING TILE	WALL CAPPING TILE	Academy	59320 (9.7x29.7)	To be laid vertically		
LIGHTING	LIGHTING – CEILING	Tba				
	LIGHTING – VANITY	tba				
SANITARY WARE	WC	REECE	Porcher Heron Cc t/suite S W/Carla Wh/Ss, Porcher Heron Cistern Wh/Cp, Porcher Heron C/C Toilet Pan S Wh, Porcher Carla T/Seat White W/S/S hinges			
	BATH	REECE	Atlantica 1700 bathhandle O/F			

			Ex grip Wh/C			
	BASIN	REECE	ACACIA, above counter basin	Holes to be predrilled to specified tapware		
VANITY	VANITY STAND	Special order/ custom made item	Design detail and specifications provided	Top to be stone in white/neutral colour, and stand to be manufactured in brushed stainless steel (AS PER DRAWING SUPPLIED)		
VANITY MIRROR	HOP LAY MIRROR CABINET 1 DOOR ROUND 55CM	ROGER SELLERS		Polished Chrome		
VANITY STONE TOP	MARBLE COMPOSITE AMBRA	QUARELLA	Top to be 40mm square polished			
TAPWARE	TAP WARE – BASIN SET	REECE	Kirra profile basin set	Polished Chrome		
	TAP WARE – BATH SET	REECE	Kirra profile bath set	Polished Chrome		
	TAP WARE – SHOWER SET	REECE	Mizu Shower Arm and Rose Chrome, needs to be made suitable for AAA	Polished Chrome		
ACCESSORIES	TOILET ROLL HOLDER	REECE	Kirra toilet roll holder	Polished Chrome		
	TOWEL RAIL	REECE	Kirra towel rail	Polished Chrome		
	DOUBLE TOWEL RAIL	REECE	Kirra double towel rail	Polished Chrome		
	VANITY SHELF	REECE	Kirra glass shelf	Polished Chrome		
	TOWEL RING	REECE	Kirra towel ring	Polished Chrome		
	SOAP DISH	REECE	Kirra soap dish	Polished Chrome		
SHOWER SCREEN	SHOWER CURTAIN RAIL – OPTION 1	Nover	Tubing #150755	19x3.6mm dia tubing chrome plated steel 19mm Chrome		



			Pillar wall ends #150710			
	SHOWER SCREEN ABOVE BATH – OPTION 2			Semi frameless fixed safety glass panel with polished chrome aluminium U channel fixed to wall  600mm wide x TBA H – to line up with top of wall tile cladding at 1800mm high		
SHOWER TRAY		REECE				
WINDOW TREATMENT	BLINDS	Hugh Meagher & Associates	Timber blinds as specified under FF&E			
 <p><b>Design agency</b> Loft, 61 Darling Street East Balmain. 2041. NSW</p> <p><b>Communication</b> p. 02.9810 7311 f. 02.9555 5529 e. info@cyd.com.au w. www.cyd.com.au</p> <p><b>Post</b> P.O Box 157 Balmain. 2041. NSW abn 88 101 440 840</p>	PROJECT: - QUARANTINE STATION				PROJECT No:	
	AREA: - PROTOTYPE – P6				DATE: JULY 2004	
	NOTES:				AMMENDED:	
	<ul style="list-style-type: none"> <li>ALL HARD MATERIALS SUCH AS STONE/ TIMBER SHALL HAVE APPROPRIATE SEALANT/ PROTECTIVE COATINGS AS REQUIRED FOR THEIR INTENDED USE, WHICH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.</li> </ul>				APRIL 29, 2005	
	<ul style="list-style-type: none"> <li>ALL SOFT MATERIALS (FABRICS/ CARPETS/ WALL COVERINGS) SHALL BE TREATED WITH APPROPRIATE FLAME RETARDANT AND SOIL &amp; WATER REPELLANT/ STAIN RELEASE TO APPROVED MANUFACTURERS SPECIFICATIONS.</li> </ul>					
	<ul style="list-style-type: none"> <li>THE CONTRACTOR SHALL ENSURE THAT THE DESIGNER SIGHTS/ SIGNS-OFF ALL SPECIFIED MATERIALS SHOWN ON THIS SCHEDULE AND TESTING CERTIFICATES VERIFYING FINISH APPLICATIONS ARE AVAILABLE.</li> </ul>					
CYD, GPO BOX 157 BALMAIN 2041, NSW AUSTRALIA TELEPHONE- (02) 9810 7311 CATE@CYD.COM.AU, CYD.COM.AU						

## **11.0 FF&E Schedule**

Please see FF&E Schedule in attached PDF file

## 12.0 Furniture Schedule


CYD FF&E SCHEDULE						
Accommodation Concept – PROTOTYPE						
Code No:	APPLICATION:	SUPPLIER:	SPECIFICATION:	REMARKS:	QTY.	FIRE RATING (FR)
	NOTE TO SUPPLIERS AND MANUFACTURERS OF ALL SOFT FURNISHINGS:			<p>All fabric suppliers are to be advised that the fabric is to be Fire Retardant to conform with AS1530 Parts 2 &amp; 3.</p> <p>All manufacturers are to be advised to use Fire Retardant components (such as linings and fillings), so that all products will comply with the requirements.</p> <p>Therefore when ordered the instruction is as follows:</p> <p>*Drapery* - should be F/R</p> <p>*Upholstery* - should be F/R</p> <p>*Bedding* - This FR rating on bedding is to be decided by the operator and what regulations they operate under.</p>		Fire Retardant to conform with AS1530 Parts 2 & 3.
	SUITE 1					
1	Queen Bedhead	Woodlands/ or alternative manufacturer	Timber bedhead with upholstered insert,	Design as per drawing detail provided, all dimensions are detailed in drawing; Timber to bedhead, FETHERS, WHITE OAK, ¼ CUT (no crown pattern)	1	
F1	Fabric to Bedhead insert - OPTION 1	Hulin	Molteni Teviz Z015 colour 3	Fabric to upholstered insert		

F1	Fabric to Bedhead insert – OPTION 2	Royalston House	Ascot MAHOGANY	Or similar product		
2	Bed	Supplier tba		Queen Ensemble 153 (wide) x 203cm (long)	1	
F2	Bedsread – option 1	Bas Phillips	Emma Matelasse spread	Look at both white and latte colours , queen size	1	
F2a	Bedsread – option 2 (both options to be viewed at prototype)	Hulin	Tailored duvet manufactured as per sample provided by Hulin	In white poly cotton, queen size	1	
4	Valance	Cheatley/or alternative manufacturer	Tailored duvet with box pleated corner	Queen size	1	
F1	Valance Fabric-option 1	Hulin	Molteni Teviz Z015 colour 3	Queen size	3.0 Mt each	
F3	Valance Fabric-option 2 (both options to be viewed at prototype)	Chaada specified	Tucaman Unico	80% co, 20% polyester, washable to 30 degrees, wide width 280cm wide	3.0 Mt each	
5	Dress Pillows Option 1 (both options to be viewed at prototype)	Bas Phillips/or alternative supplier	Egyptian Combed Cotton Stripe Sateen	Top of the bed Standard pillow with 5cm flange all sides	4 per bed	
5	Dress Pillows Option 2	Cheatley or alt manufacturer	Tailored pillow case	Top of the bed Standard pillow with 5cm flange all sides	4 per bed	
F3	Fabric to manufactured dress pillow	Chaada specified	Tucaman Unico	80% co, 20% polyester, washable to 30 degrees, widewidth 280cm wide		
6	Throw to Bed /look at both options for prototype	St Albans	Mohair throw rug	In DRIFTWOOD or IVORY		
7	Bedside table			Integrated bed head and bedside lamps		
8a	Bedside lamp	Lightforce to	BOX wall bracket	Finished in brushed stainless steel with dimensions	2	

		custom manufacture		300mm wide x 100mm high (for details manufacturer to reference ECC BOX light, has already been discussed with them)		
9	Curtains	Hugh Meagher		Pinch pleated attach lined blackout drapes with 2 x fullness in 137cm fabric, allowing 100mm puddling on floor	2	
	Tracks	Hugh Meagher		Dual Forest CCS cord draw double tracks to suit 1880mm width (architrave width + 200mm each side)	2	
	Tie backs	Hugh Meagher	Reference Vanda curtain track brochure	French tie backs, wall fixed, chrome finish, 290mm	2	
F3	Fabric to Curtains (both options to be viewed at prototype)	Chaada specified	Tucaman Unico	80% co, 20% polyester, washable to 30 degrees, fabric width 280cm wide	8m	
F4	Fabric to Curtains	Hulin	Royal suede, colour 17	Composition tba, 140cm wide	10.74 mt	
10	Sheer curtain	Hugh Meagher		Pinch pleated sheers with 2 x fullness, allowing 100mm puddling with 295mm fabric	2	
F5a	Fabric to Sheer curtain – option 1 (both options to be manufactured for prototype)	Loop Textiles	Hopsack colour LINEN	295cm 100% polyester washable		
F5b	Fabric to Sheer curtain – option 2	Loop Textiles	Hopsack colour ALMOND	295cm 100% polyester washable		
11	Clothes rack and shelf	Woodlands/or alternative manufacturer	Timber case with hanging rod in chrome or stainless	Design as per drawing detail provided, all dimensions are detailed in drawing; Timber to rack, FETHERS, WHITE OAK, ¼ CUT (no crown pattern)		
12	Collapsible luggage rack	tbs			1	
13						
	LIVING ROOM					
14	Desk	Woodlands/ or alt manufacture	Timber	Design as per drawing detail provided, dimensions are detailed in drawing; Timber to desk, FETHERS, WHITE OAK, ¼ CUT (no crown pattern)	1	

14a	Desk Chair	Equator	Victoria dining chair in TOBACCO or NATURAL	Design as per drawing detail provided, dimensions are detailed in drawing	1	
15	Sofa	Woodlands	Myall Sofa, 2.5 seater or similar	Fully upholstered, Feather and foam seat with back cushion, 1820mm wide, 670mm arm height, 900mm depth, 870mm height, 460mm seat height	1	
F6	Sofa Fabric	Hulin	Quaker Benjamin, colour WALNUT	55% acrylic, 32% poly, 13% CTN, fabric to be sent to supplier	8 mt	
16	Occasional arm Chair	Equator	Bali armchair in TOBACCO or NATURAL	Woven synthetic cane chair with cushion in dark stain	1	
F7a	Fabric to occasional cushion and scatter cushions – Option 1 (both cushions to be manufactured for prototype)	Mokum Textiles	Martinque colour 82 Ebony	Supplier to manufacture cushion	1 mt	
F7b	Fabric to occasional cushion and scatter cushions – Option 2	Mokum Textiles	Angkor Wat colour 040 Driftwood		1mt	
16a	Scatter Cushions to sofa (we will look at scatter cushions in the above fabric in addition to ready made from Rapee for prototype)	Rapee		CYD will select a collection of 4		
17	Desk lamp	Lightforce	Kaiyan MT064F-1	L38xW38.5 x H72cm	1	
18	Standing lamp	Lightforce	Kaiyan ML064F-1	L48x W28x H153xm	1	
19	Coffee table	Woodlands/or alt manufacture	Timber	Design as per drawing detail provided; Timber to coffee table, FETHERS, WHITE OAK, ¼ CUT (no crown pattern)	1	
20	Curtain	Hugh Meagher		Pinch pleated attach lined blackout drapes with 2 x fullness in 137cm fabric, allowing 100mm puddling on floor	2	
	Tracks	Hugh Meagher		Dual Forest CCS cord draw double tracks to suit	2	

				1880mm width (architrave width + 200mm each side)		
	Tie backs	Hugh Meagher	Reference Vanda curtain track brochure	French tie backs, wall fixed, chrome finish, 290mm	2	
F4	Fabric to Curtains	Hulin	Royal suede, colour 17	Composition tba, 140cm wide	10.74 mt	
F3	Fabric to Curtains (both options to be viewed at prototype)	Chaada specified	Tucaman Unico	80% co, 20% polyester, washable to 30 degrees, fabric widewidth 280cm wide	8m	
21	Sheer curtain	Hugh Meagher		Pinch pleated sheers with 2 x fullness, allowing 100mm puddling with 295mm fabric	2	
F5a	Fabric to Sheer curtain – option 1 (both options to be manufactured for prototype)	Loop Textiles	Hopsack colour LINEN OR ALMOND	295cm 100% polyester washable		
F5b	Fabric to Sheer curtain – option 2	Hulin	Dimity in IVORY OR WHITE	300cm 100% polyester washable		
22	Art work /tbs	Archive sourced from site		Image to be selected from archives, 200mm x 200mm when framed	1	
	Framing	Modern Framing		Archive type image with mount board and black frame (reference framing produced for Myall)	1	
22a	Mirror	Equator	Round mirror in TOBACCO or NATURAL	Cane mirror	1	
	BATHROOM					
23	Roman blind	Peter Meyer	Synthetic timber blind	WOODSTYLE# RED CEDAR	1	Meets (FHSA), section 1500.3(o)(6)(vi) of a burn rate no greater than .1 inch per second
24	Bathroom accessories	tbs				
	OUTDOOR AREA					
25	Outdoor Table	Woodlands	Timber stain to match sample	Design as per drawing provided	1	
26	Outdoor Chair	Equator	Bali armchair	Chocolate woven synthetic	2	
	ELECTRICAL					



27	Heater	To be sourced by client			1	
28	TV - option 1	Michael Anderson	LG Flatron 51cm	With remote control	1	
	TV – option 2(this is the client preference, and Michael Anderson has said that we may be able to get one for around the \$500 at the end of the year)	Michael Anderson	LCD screen	To be wall mounted	1	
29	Hair dryer				1	
30	Clock radio telephone				1	
	LINEN & MANCHESTER					
31	Pillows				2	
32	Pillow protectors				2	
33	Mattress protectors				1	
34	Queen Blanket	Cheatley Trading / or alternative supplier	“Virgin” Polar Fleece colour camel	100% Polyester warm machine wash separately, do not bleach, do not tumble dry, do not dry clean 245 x 275cm	1	
	MISCELANEOUS					
35	Verandah matting	Fowlers Carpets (ph:46461812)	Lombok Gel	1099: SISAL		
	PROJECT: - QUARANTINE STATION				DATE : AUG UST 2004	
	AREA: - P6 PROTOTYPE CONCEPT					PROJECT No:



<p>NOTES:</p>	
<p>· ALL HARD MATERIALS SUCH AS STONE/ TIMBER SHALL HAVE APPROPRIATE SEALANT/ PROTECTIVE COATINGS AS REQUIRED FOR THEIR INTENDED USE, WHICH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.</p>	
<p>· ALL SOFT MATERIALS (FABRICS/ CARPETS/ WALL COVERINGS) SHALL BE TREATED WITH APPROPRIATE FLAME RETARDANT AND SOIL &amp; WATER REPELLANT/ STAIN RELEASE TO APPROVED MANUFACTURERS SPECIFICATIONS.</p>	
<p>· THE CONTRACTOR SHALL ENSURE THAT THE DESIGNER SIGHTS/ SIGNS-OFF ALL SPECIFIED MATERIALS SHOWN ON THIS SCHEDULE AND TESTING CERTIFICATES VERIFYING FINISH APPLICATIONS ARE AVAILABLE.</p>	
<p>CYD, PO BOX 157 BALMAIN 2041, NSW AUSTRALIA TELEPHONE – (02) 98107311          CATE@CYD.COM.AU</p>	

## **13.0 Samples**


Please refer to the following figures

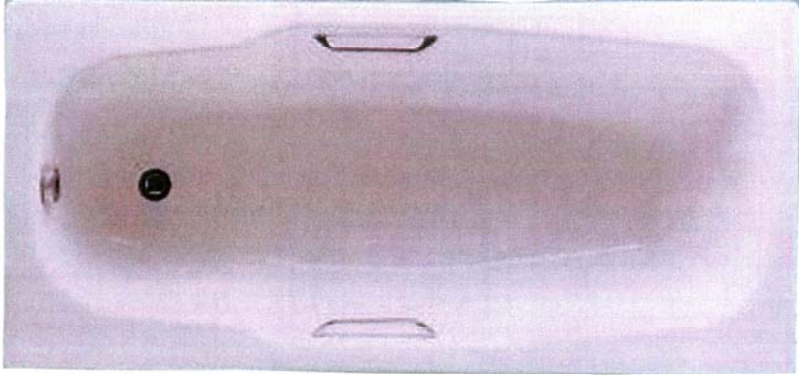

PRODUCT IMAGE		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: ELECTRICAL SWITCHES, HPM, EXCEL IN CREAM</b></p>	<p><b>DATE:</b> APRIL 2006</p>
	<p><b>NOTES:</b></p> <p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications</p>	
<p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>		

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: KIRRA BASIN TAPS</b>	<b>DATE:</b> <b>APRIL 2006</b>
	<b>NOTES:</b> All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	<b>REVISIONS</b>
	All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications	
	The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

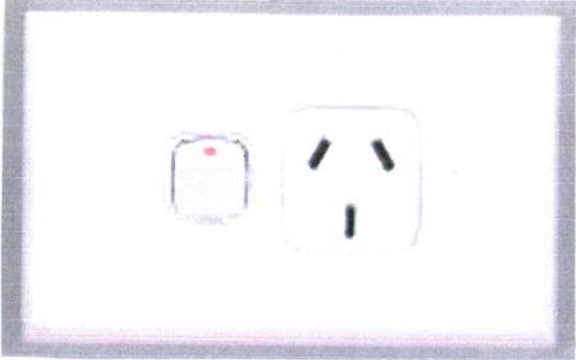

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: KIRRA BATH TAPS</b>	<b>DATE:</b> <b>APRIL 2006</b>
	<b>NOTES:</b> All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	<b>REVISIONS</b>
	All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications	
	The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: HERON TOILET SUITE</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b> All hard materials such as stone/limber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	<b>REVISIONS</b>
	All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications	
	The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

PRODUCT IMAGE		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: ACACIA ABOVE COUNTER BASIIN: REECE</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b>	<b>REVISIONS</b>
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications		
The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.		

PRODUCT IMAGE		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: ATLANTICA BATH</b></p>	<p><b>DATE:</b> APRIL 2006</p>
	<p><b>NOTES:</b></p> <p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications</p> <p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	



PRODUCT IMAGE		
		
  45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: GENERAL POWERPOINT IN CREAM</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b> All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	<b>REVISIONS</b>
	All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications  The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

PRODUCT IMAGE		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: BATHROOM - SHOWER HEAD: MIZU CHROME SHOWER ARM; TAPS: KIRRA SHOWER SET</b></p>	<p><b>DATE:</b> <b>APRIL 2006</b></p>
	<p><b>NOTES:</b></p> <p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications</p>	<p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>

PRODUCT IMAGE		
<p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: FINISHES SAMPLES - P6 CONCEPT</b></p>	<p><b>DATE:</b> APRIL 2006</p>
	<p><b>NOTES:</b></p> <p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications</p>	
	<p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	

PRODUCT IMAGE		
 <p>ITEM F6</p>	 <p>ITEM F7A</p>	 <p>ITEM F7B</p>
 <p>ITEM F8A</p>	 <p>ITEM F8B</p>	
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: FABRIC SAMPLES - P6 CONCEPTS</b></p>	<p><b>DATE:</b> APRIL 2006</p>
	<p><b>NOTES:</b></p> <p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications</p>	
	<p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: OCCASIONAL AND VERANDAH CHAIR - BALI ARMCHAIR wx 700mm Dx 800mm SUPPLIER: EQUATOR HOMEWARES</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b>	<b>REVISIONS</b>
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
	All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications	
	The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

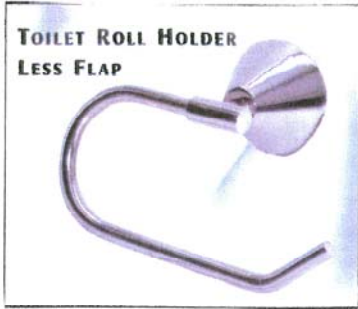

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: DESK CHAIR VICTORIA DINING CHAIR; SUPPLIER EQUATOR HOMEWARES 480mm x W 480mm x D 1000 x H</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b>	<b>REVISIONS</b>
	<p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p> <p>All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications</p> <p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	

PRODUCT IMAGE		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: TWO SEATER SOFA FULLY UPHOLSTERED SEAT AND BACK WITH FEATHER AND FOAM CUSHIONS; SUPPLIER WOODLANDS</b></p>	<p><b>DATE:</b> APRIL 2006</p>
	<p><b>NOTES:</b></p> <p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications</p>	
	<p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	

PRODUCT IMAGE		
 <p><b>Desk lamp: Lightforce</b></p>	 <p><b>Occasional table: custom item (refer drawings)</b></p>	 <p><b>Curtains: concept image 'linen look' curtain</b></p>
 <p><b>Bathroom vanity: concept image for stainless steel base of vanity</b></p>		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<p><b>PROJECT - QUARANTINE STATION</b></p>	<p><b>PROJECT NO:</b></p>
	<p><b>AREA: Furniture Samples - P6 CONCEPT</b></p>	<p><b>DATE:</b> <b>APRIL 2006</b></p>
	<p><b>NOTES:</b> All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p>	<p><b>REVISIONS</b></p>
	<p>All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications</p>	
	<p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	



PRODUCT IMAGE		
		
Round woven cane mirror: Equator	Victoria dining chair: Equator	Bali armchair: Equator
		
Artwork: concept image of traditional heritage photograph in contemporary dark chocolate frame	Bed concept: duvet and flanged pillows	Scatter cushions: concept image of random scatters
		
Mohair throw: St Albans	Box light: Lightforce	Emma Bedspread: Bas Phili
  45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288	PROJECT - QUARANTINE STATION AREA: Furniture Samples - P6 CONCEPT NOTES: All hard materials such as stone/limber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.  All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications  The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	PROJECT NO:  DATE: APRIL 2006 REVISIONS

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: KIRRA TOILET ROLL HOLDER</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b>	<b>REVISIONS</b>
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
	All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications	
The contractors shall ensure that the designer signs/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.		

<b>PRODUCT IMAGE</b>		
		
  45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: KIRRA SOAP DISH</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b> All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	<b>REVISIONS</b>
	All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications  The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: KIRRA GLASS SHELF</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b>	<b>REVISIONS</b>
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
	All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications	
	The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.	

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: KIRRA DOUBLE TOWEL RAIL</b>	<b>DATE:</b> APRIL 2006
	<b>NOTES:</b>	<b>REVISIONS</b>
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
All soft material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications		
The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.		

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: CEILING LIGHT / FAN BEACON CONCEPT 52 INCH BLADE FAN WITH LIGHT</b>	<b>DATE:</b> <b>APRIL 2006</b>
	<b>NOTES:</b>	<b>REVISIONS</b>
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications		
The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.		

<b>PRODUCT IMAGE</b>		
		
 <p>45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288</p>	<b>PROJECT - QUARANTINE STATION</b>	<b>PROJECT NO:</b>
	<b>AREA: CURTAIN TIE BACK, FRENCH; SUPPLIER VANDA FRENCH HOLDBACK SIZE 290mm, CHROME</b>	<b>DATE: APRIL 2006</b>
	<b>NOTES:</b>	<b>REVISIONS</b>
	<p>All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.</p> <p>All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellent/ stain release to approved manufacturers specifications</p> <p>The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.</p>	

PRODUCT IMAGE		
		
ITEM F1	ITEM F1A	ITEM F2-white
		
ITEM F2-latte	ITEM F2a	ITEM F3
		
ITEM F4	ITEM F5A	ITEM F5R
 45 Hume Street PO Box 905 Crows Nest NSW 2065. Australia Tel: 61 2 9437 0277 Fax: 61 2 9437 0288	PROJECT - QUARANTINE STATION	PROJECT NO:
	AREA: FABRIC SAMPLES - P6 CONCEPTS	DATE: APRIL 2006
	NOTES:	REVISIONS
	All hard materials such as stone/timber shall have appropriate sealant/protective coatings as required for their intended use, which will be applied in accordance with the manufacturers recommendations.	
All sof material (fabrics/carpets/wall coverings) shall be treated with appropriate flame retardant and soil and water repellant/ stain release to approved manufacturers specifications		
The contractors shall ensure that the designer sights/signs-off all specified materials shown on this schedule and testing certificates verifying finish applications are available.		



## **Appendices**

### **Appendix A Approvals**



3 Marist Place  
Parramatta NSW 2150  
Locked Bag 5020  
Parramatta NSW 2124  
DX 8225 PARRAMATTA

Telephone: 61 2 9873 8500  
Facsimile: 61 2 9873 8599  
heritageoffice@heritage.nsw.gov.au  
www.heritage.nsw.gov.au

Contact: Ed Beebe  
Telephone: 9873 8588  
ed.beebe@heritage.nsw.gov.au  
File: H04/00060  
Our Ref: HRL37473

Mawland  
PO Box 905  
CROWS NEST  
NSW 2065

Attention: Kristian Butcher, Construction Manager

Dear Kristian

### Conditional Endorsement of Quarantine Station Internal Fitout Plan

Thank you for submitting the fourth draft of the Quarantine Station Internal Fitout Plan dated November, 2005 which was received by the Heritage Office on 14 November, 2005. The review of the Plan is being undertaken in accordance with Clause 99 of the Minister's Conditions of Approval for the conservation and adaptive reuse of North Head Quarantine Station which states:

*The co-proponents shall engage a suitably qualified and experienced person to prepare a site wide plan for internal building fitout within 12 months of the commencement date. The plan shall be reviewed by the Heritage Advisor and submitted to NPWS and the Heritage Council for approval. All internal fittings installed across the site must be consistent with the adopted plan.*

*The Plan shall:*

- a) *outline the specifications and style of all new plumbing, telecommunication and electrical fittings, and floor coverings to be installed across the site. It must include taps, spouts, shower heads, basins, baths, toilets, electrical fittings, carpets and floor tiling, etc, and demonstrate consistency with the relevant policies of the DACMP; and*
- b) *outline an approach to sampling of bathroom and toilet fitouts across the site from the 1958-62 period, taking into account the relevant policies of the DACMP.*

In accordance with Clause 99, the nominated Heritage Advisor reviewed the Plan in January, 2005 to address its compliance with the conditions of Approval and the Detailed Areas Conservation Management Plans 2000 (DACMP) and returned comments on 2 February, 2005. A revised draft was submitted and reviewed in June 2005 and comments were returned on 7 June, 2005.

You are advised that the comments returned to you on 7 June, 2005 have been addressed in the November, 2005 revisions. It is noted that the Plan is to be prepared in two parts, considering the accommodation buildings first, followed by remaining buildings. It is reiterated that this approach is reasonable as long as the complete plan is finalised and endorsed in accordance with the conditions of approval being within 12 months of the commencement date.

In light of the staged submission of the Plan, the Part 1 Internal Fitout Plan is conditionally endorsed subject to:

- Approval of the document's second part by the NSW Heritage Council; and
- The outcome and approval of the work in Building P6 in accordance with the conditions of approval given under the overarching approval of the conservation and adaptive reuse of North Head Quarantine Station under s60 of the Heritage Act.

I trust that the information is of use. If you have any queries please call Ed Beebe, Senior Heritage Officer, on 9873 8588.

Yours sincerely

A handwritten signature in black ink that reads 'Reece McDougall'.

**REECE MCDUGALL**

Director

CC Environmental Manager, Quarantine Station

13/12/05



NSW  
NATIONAL  
PARKS AND  
WILDLIFE  
SERVICE

ABN 30 841 387 271

Mr Max Player  
Principal  
Mawland Hotel Management Pty Ltd  
45 Hume St  
CROWS NEST NSW 2065

Attn: Mr Simon McArthur

Dear Mr Player

**Re: Approval of the Internal Fitout Plan - Part 1**

I am pleased to advise you that I, on behalf of the Department of Environment and Conservation, have approved the Internal Fitout Plan - Part 1 for the North Head Quarantine Station Conservation and Adaptive Reuse Project.

Ms Siân Waythe, Quarantine Station Environment Manager, will advise you on the requirements for document production and dissemination. She may be contacted on 9977 6102.

Yours sincerely

DR TONY FLEMING  
Head, National Parks and Wildlife  
Deputy Director-General  
Department of Environment and Conservation

25/1/06

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